

AGENDA - TOWN BOARD MEETING

August 8, 2024

7:30 pm

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

PRESENTATION: SUSTAINABLE WARWICK-TREE DONATION TO PARKS

PUBLIC HEARING: INTRODUCTORY LOCAL LAW # 5 OF 2024 – AMENDING TOWN CODE TO INCLUDE A PARCEL OF REAL PROPERTY, SBL# 8-2-8.2, WITHIN THE APO OVERLAY DISTRICT

PUBLIC HEARING: INTRODUCTORY LOCAL LAW # 6 OF 2024 – AMENDING TOWN ZONING CODE ENTITLED “AFFORDABLE HOUSING”

ACCEPTANCE OF MINUTES

1. Regular Meeting- July 11, 2024

CORRESPONDENCE (Addendum # 1):

-Board’s Discussion on Correspondence

VISITING OFFICIALS

REPORTS OF BOARDS AND DEPARTMENT HEADS:

- **Police**
- **DPW**
- **Water / Sewer**
- **Recreation**

TOWN BOARD REPORTS

- **Councilman DeAngelo**
- **Councilman Kowal**
- **Councilman Mattingly**
- **Councilman Shuback**
- **Attorney Buckheit**
- **Town Clerk Astorino (Addendum #2):**
- **Supervisor Dwyer**

PRIVILEGE OF THE FLOOR (AGENDA ITEMS)

NEW BUSINESS / RESOLUTIONS (Addendum #3):

APPROVAL TO PAY AUDITED BILLS:

PRIVILEGE OF THE FLOOR (GENERAL):

NEXT SPECIAL MEETING- Thursday, August 22, 2024 @ 9:00am (pay the audited bills/ any needed business)

NEXT REGULAR MEETING: - Thursday, September 12, 2024 @7:30pm

MOTION TO ADJOURN:

ADENDUM #1

CORRESPONDANCE:

DEBORAH EURICH – Assessor, Town of Warwick. Letter dated July 26, 2024 to the Town Board requesting permission to attend the NYSAA Fall Training Session on Assessment Administration.

CONNIE SARDO – Planning Board Secretary, Town of Warwick. Letter dated July 9, 2024 to the Town Board requesting an Escrow refund for SBL#42-1-110.4.

CONNIE SARDO – Planning Board Secretary, Town of Warwick. Letter dated July 9, 2024 to the Town Board requesting an Escrow refund for SBL#58-2-39.

FENCE ROAD FARM BREWERY LLC – Applicant. A copy of their Standardized notice form for providing a 30-day advance notice to a local municipality or community board s received on July 15, 2024.

RICHARD HULL – Town of Warwick Historian. Letter dated January 31, 2024 asking the Town Board for permission to use the Town Hall Lobby to host a photo exhibition for the month of September.

CARMINE PIZZURRO – Founder & CEO, Jule. Letter dated July 19, 2024 requesting a site visit regarding utility saving and energy storage. They are a company that focuses its solutions on EV fast charging.

ROBERT E. KRAHULIK –Attorney representing Maskers Farms LLC. A copy of their Standardized notice form for providing a 30-day advance notice to a local municipality or community board s received on July 16, 2024.

SAMANTHA WALTER – Recreation Director, Town of Warwick. Email dated July 15, 2024 to the clerk regarding resident Estefany Rosario requesting a refund for cancelled swim lessons at Mountain Lake Park.

JOAN MAXWELL – Repair café Organizer. Email dated July 22, 2024 to the Clerk regarding the past repair café held at the Senior Center. It was a great success. The next Repair Café will be Saturday, September 21, 2024 from 10-2pm.

ALYSSE DEVINE – NYSDEC, Division of Environmental Permits. Copy of letter sent to Orange & Rockland Utilities, Inc. regarding DEC ID# 3-3354-00893/00001 O&R Transmission Shoreline Armoring Line 98. The application has been deemed complete.

JOSH CUMMINS – Assistant Engineer, Spill prevention response and remediation, NYSDEC Region 3. Notice of Violation dated July 15, 2024 to the Warwick Airport regarding Petroleum Bulk Storage (PBS) Program Site Inspection – 6 NYCRR Part 613 PBS#3-600765.

ODILY BANILLA – Social Security, Newburgh office. Email dated July 24, 2024 to the Town Clerk regarding an important change in Social Security Administration office in Newburgh, NY. The office relocated at 3 Washington Center, Suite 301, Newburgh, NY 12550. Will be permanently closed. On July 18, 2024 the office relocated to 85 Crystal Run Road, Middletown, NY and will open on July 24th. Phone number has stayed the same 1-866-504-4801.

MARISA DOLLBAUM - Town Clerk, Town of Tuxedo, NY. Notice of Public Hearing for an introductory law regarding amending chapter 98 (ZONING) OF THE TOWN OF TUXEDO RELATIVE TO THE ILLUMINATION OF SIGNS A PRE-EXISTING AUTOMOTIVE GAS STATIONS. Public Hearing will be held August 12, 2024 at 7:00pm 1 Temple Drive, Tuxedo, NY.

PATTI PETRESHOCK – Part-time Building Department Clerk, Town of Warwick. Letter dated August 1, 2024 notifying the Town of her intent to resign.

NYSERDA – Clean Energy Team. Email to the Supervisor dated July 31, 2024 regarding GRANT APPROVAL NOTIFICATION: Clean Energy Communities Program – Warwick Electric Landscaping in the amount of \$10,000.00.

ELIZABETH K. CASSIDY – Attorney, Law office of Elizabeth K. Cassidy. Email dated August 5, 2024 to the Clerk regarding Application of Etta Hamilton – Clinton Ave. Extension.

JOHN RADER – Police Chief, Town of Warwick. Letter dated August 5, 2024 to the Supervisor regarding accepting the bids for vehicles that were deemed surplus earlier this year.

ANNA MARIE CALLI - OCGS, Program Coordinator. Orange County Genealogical Society will be holding a FREE program September 7, 2024 from 10:30-12:00noon. For more information: visit www.ocgsny.org or contact Anna Calli at acalli1065@aol.com .

STEVEN M. NEUHAUS – County Executive, Orange County New York. Letter dated June 26, 2024 to the Recreational Director informing the Town that they have been awarded a Municipal Tourism Grant in the amount of \$4,999.00.

MARIE THERESE DOMINGUEZ – Commissioner, NYS Department of Transportation. Letter dated July 12, 2024 to the Supervisor announcing that The Town of Warwick application for the replacement of the Jayne Street Bridge has been approved for funding through 2023 Bridge NY Program in the amount of \$1,350,000.00.

R. DANIEL MACKAY – Deputy Commissioner for Historic Preservation and Deputy State Historic Preservation officer. Letter dated July 17, 2024 to the Town Supervisor informing the Town that after being recommended to the Commissioner of Parks, Recreation and Historic Preservation, that the property known as Black Walnut Island 2 located on Van Sickle Road has been listed on the State Register of Historic Place. It is being forwarded to the keeper of the National Register in Washington, D.C. If it is approved, the property will be listed on the National register.

JOHN RADER – Police Chief, Town of Warwick. Letter dated August 6, 2024 to the Supervisor regarding the appointment of a full time Police officer.

JOHN RADER – Police Chief, Town of Warwick. Letter dated August 6, 2024 to the Supervisor regarding the appointment of a part time Dispatcher.

JOHN RADER – Police Chief, Town of Warwick. Letter dated August 7, 2024 to the Supervisor regarding the appointment of a full time Police Officer.

DRAFT

TOWN CLERK REPORT:

1.

1. FEES COLLECTED – JULY 2024

Interest in Town Clerk's Checking Account	\$5.84
MLP Apartments	\$6,804.00
MLP Dance Studio	\$250.00
MLP Front Building	\$3,000.00
MLP- Indoor Theater	\$1,500.00
MLP Kitchen	\$460.00
MLP Kitchen Per Hour	\$1,802.50
MLP Kitchen Storage	\$150.00
MLP Lodge Dining Hall	\$820.00
MLP Lakeside pavilion	\$3,420.00
MLP Lodge Lounge	\$290.00
MLP-NR LS Picnic Tables & Grills	\$80.00
MLP Rec Building Storage	\$150.00
MLP Pool – Adult	\$950.00
MLP Pool – Child	\$100.00
MLP Pool –Daily	\$1,080.00
MLP Pool Family	\$375.00
MLP Pool – Senior	\$970.00
MLP Swim Lessons	\$90.00
Wickham Woodland Manor Fee	\$1,250.00
MLP-Lake Access	\$45.00
Copy of Map	\$5.00
Marriage Certified	\$140.00
Photocopies	\$238.00
Postage	\$10.64
Special Event Permit	\$75.00
Use of Room Fee-Senior Center	\$150.00
Dog Impounds	\$80.00
Town Park Pavilion	\$225.00
Marriage License Fee	\$315.00
Dog Licensing	\$1,327.00
Conservation	\$34.30
Registrar Town of Warwick	\$570.00
Wickham Woodland Manor Deposit	\$1,500.00
MLP Deposit Cabin/Apartments	\$100.00
MLP Deposit Kitchen	\$600.00
MLP Deposit Lakeside Pavilion	\$200.00
MLP Deposit Lodge Dining Hall	\$100.00
Town Park Deposits	\$150.00
Total Local Shares Remitted	\$29,412.28

3. FEES PAID – JUNE 2024

NYS Dept. of Health	\$405.00
NYS Ag & Markets for Spay/neuter program	\$155.00
NYS Environmental Conservation	\$890.00
Village of Warwick for Registrar	\$1,060.00
Village of Florida Registrar	\$60.00
Village of Greenwood Lake Registrar	\$40.00
Total Non-Local Revenues	\$2,610.70

2. Bid proposal to purchase & deliver a 14X20 shed**1. Grey's Woodworks**

7862 Route 55

Grahamsville, NY 12740

Bid Proposal: \$10,385.00**2. Sheds Unlimited**

On-Line

<https://www.shedsunlimited.net>**Bid Proposal: \$12,481.00****3. Mysheds.com**

On-Line

<https://www.mysheds.com>**Bid Proposal \$12,440.00****3. Bid proposal for Warwick Sewer Treatment Plant Sand Filter Media Replacement****1. Sovereign Consulting Inc.**

111-A North Gold Dr.

Robbinsville, NJ 08691

Bid Proposal: \$ 31,120.00**2. TAM Enterprises**

114 Hartley Rd.

Goshen, NY 10924

Bid proposal: \$24,250.00**3. Coppola Water Infrastructure and Services**

28 Executive

Ringwood, NJ 07456

Bid Proposal: \$11,929.00

NEW BUSINESS / RESOLUTIONS:

#R2024-311 EXTEND PROPANE TANK BID SOLICITATION

Motion to extend the solicitation of propane tank bids for the purchase of

- 1. Six (6) ASME 1000-gallon propane storage tanks;
and**
- 2. The cost of delivery of the aforementioned items set forth in Paragraph 1 to the Town of Warwick properties at Mountain Lakes Park, in Warwick, New York.**

ALL SEALED BIDS shall be received by the Office of the Town Clerk by August 21, 2024, at 9:00 am, at which time bids will be opened and read aloud. Service will be expected to begin immediately upon acceptance by the Town of the lowest responsible bidder.

Bids must be accompanied by a bid bond or certified check of the Bidder (3% of the bid amount for cost of delivery, along with proof of insurance (Workers Compensation and Liability Insurance)

#R2024-312 RESOLUTION FOR CLINTON AVENUE EXTENSION

Whereas, Etta M. Hamilton is the owner of real property located on Clinton Avenue Extension which is the subject of an application before the Town of Warwick Planning Board for site plan approval for the use of the premises as a day care facility, and

Whereas, Clinton Avenue Extension appears on the tax map of the Town of Warwick as a “paper street” extending from the boundary line of the Village of Warwick through the premises owned by Etta M. Hamilton to lands owned by Pioneer Square LLC (the “Paper Street”) as laid out on a subdivision map filed with the Orange County Clerk in 1977, and

Whereas, in connection with the application for site plan approval, a question has arisen concerning ownership of that portion of Clinton Avenue Extension that appears as the Paper Street, and

Whereas, the Paper Street was never offered for dedication to the Town of Warwick, and

Whereas, the Town of Warwick does not own or have any interest in the Paper Street; the Paper Street has not been laid out opened or worked since 1977; and has never been used as a public right of way, and

Whereas, Etta M. Hamilton has requested the Town of Warwick to abandon the Paper Street pursuant to New York State Highway Law § 205.

NOW, THEREFORE, be it

RESOLVED, that the Town of Warwick, pursuant to Highway Law § 205, hereby abandons the Paper Street as a right of way, and it is further

RESOLVED that the Town Supervisor cause to be recorded in the Town Clerk's Office a written description, signed by him abandoning the Paper Street, and it is further

RESOLVED, the Town Supervisor execute a Quit Claim Deed and accompanying instruments necessary to record the Quit Claim Deed with the county clerk, in favor of Emma M. Hamilton, conveying all right, title and interest of the Town of Warwick in and to the Paper Street.

#R2024-313 BOND RESOLUTION OF THE TOWN OF WARWICK, ADOPTED AUGUST 8, 2024, AUTHORIZING THE PURCHASE OF OPEN SPACES AND AREAS, STATING THAT THE ESTIMATED MAXIMUM COST THEREOF IS \$800,000.00, APPROPRIATING SAID AMOUNT THEREFOR, AND AUTHORIZING THE ISSUANCE OF \$800,000.00 SERIAL BONDS TO FINANCE THE SAID APPROPRIATION

WHEREAS, all conditions precedent to the financing of the capital project hereinafter described, including the filing of a negative declaration and compliance with the provisions of the State Environmental Quality Review Act, have been performed; and

WHEREAS, it is now desired to authorize the financing of such capital project;

NOW, THEREFORE,

BE IT RESOLVED BY THE TOWN BOARD OF THE TOWN OF WARWICK IN THE COUNTY OF ORANGE, NEW YORK, (by the favorable vote of not less than two-thirds of all the members of said Board) AS FOLLOWS:

Section 1. The Town is authorized to acquire open spaces and areas pursuant to General Municipal Law Section 247. Acquisition of open spaces and areas includes, among other things, the purchase of development rights in farmland to preclude residential or other development of such properties. All or a portion of the indebtedness for such purpose may be issued in the form of land installment purchase obligations pursuant to Local Finance Law Section 29.10. The estimated maximum cost of said specific object or purpose, including preliminary costs, cost of maps, plans, surveys, estimates, advertisements, legal documents and costs incidental thereto and the financing thereof, is \$800,000.00 and the said amount is hereby appropriated therefor. The plan of financing is the issuance of \$800,000.00 serial bonds/land installment purchase obligations to finance the said appropriation and the levy of a tax on all the taxable real property within the Town to pay the principal of said bonds and interest thereon as the same shall become due and payable.

Section 2. Serial bonds in the principal amount of \$800,000.00 are hereby authorized to be issued pursuant to the Local Finance Law, constituting Chapter 33-a of

the Consolidated Laws of the State of New York (herein called "Law"), to finance said appropriation.

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Section 3. The following additional matters are hereby determined and stated:

a) The period of probable usefulness applicable to the purpose for which said serial bonds herein authorized are to be issued, within the limitations of Section 11.00a.21 of the Law, is thirty (30) years.

b) The proposed maturity of the bonds authorized by this resolution will exceed five (5) years.

c) The proceeds of the bonds herein authorized and any bond anticipation notes issued in anticipation of said bonds may be applied to reimburse the Town for expenditures made after the effective date of this resolution for the purpose for which said bonds are authorized. The foregoing statement of intent with respect to reimbursement is made in conformity with Treasury Regulation Section 1.150-2 of the United States Treasury Department.

Section 4. The bonds authorized by this resolution and any bond anticipation notes in anticipation of the sale of said bonds shall contain the recital of validity prescribed by Sec. 52.00 of the Law, and said bonds and any notes issued in anticipation of such bonds shall be general obligations of the Town, payable as to both principal and interest by a general tax upon all the taxable real property within the Town without limitation of rate or amount. The faith and credit of the Town are hereby irrevocably pledged to the punctual payment of the principal of and interest of said bonds and any notes issued in anticipation of said bonds, and provisions shall be made annually in the budget of the Town by appropriation for (a) the amortization and redemption of the bonds and notes to mature in each year and (b) the payment of interest to be due and payable in each year.

Section 5. Subject to the provisions of this resolution and of the Law and pursuant to the provisions of Sec. 21.00 relative to the authorization of the issuance of bonds with substantially level or declining annual debt service, and of Sec.30.00 relative to the authorization of the issuance of bond anticipation notes and of Sec. 50.00 and Sec. 56.00 to 60.00 and 168.00 of the Law, the powers and duties of the Town Board relative to authorizing bond anticipation notes and prescribing the terms, form and contents as to the sale and issuance of the bonds herein authorized and of any bond anticipation notes issued in anticipation of said bonds, and the renewals of said bond anticipation notes, and relative to providing for substantially level or declining annual debt service, are hereby delegated to the Town Supervisor, the chief fiscal officer of the Town.

Section 6. The validity of the bonds authorized by this resolution and of any notes issued in anticipation of said bonds, may be contested only if:

(a) such obligations are authorized for an object or purpose of which the Town is not authorized to expend money, or

(b) the provisions of the law which should be complied with at the date of the publication of such resolution are not substantially complied with, and an action,

suit or proceeding contesting such validity is commenced within twenty days after the date of such publication or

(c) such obligations are authorized in violation of the provisions of the constitution.

Section 7. This resolution is subject to permissive referendum.

Section 8. The object or purpose described in Section 1 hereof has been determined to be an unlisted Action or non-Action pursuant to the regulations of the New York State Department of Environmental Conservation promulgated pursuant to the State Environmental Quality Review Act, with respect to which said Town Board has made a "Negative Declaration" based on review and consideration of a Long Environmental Assessment Form.

RESOLVED BY THE TOWN BOARD OF THE TOWN OF WARWICK IN THE COUNTY OF ORANGE, NEW YORK, AS FOLLOWS:

Section 1. The Town Clerk is hereby authorized and directed to publish the foregoing bond resolution, in summary, in WARWICK VALLEY DISPATCH, a newspaper published in Warwick, New York, the official newspaper of said Town and having a general circulation therein, together with Notice attached in substantially the form as prescribed by Sec. 81.00 of the Local Finance Law of the State of New York.

Section 2. This resolution shall take effect immediately.

ROLL CALL VOTE:

Names	Ayes	Nays	Abstain	Absent
Supervisor Dwyer				
Councilman DeAngelo				
Councilman Kowal				
Councilman Mattingly				
Councilman Shuback				
TOTAL				

#R2024-314 ACCEPT BID PROPOSAL FOR PINE ISLAND WATER WELL TESTING AND DATA ANALYSIS OF PINE ISLAND WELL #7 (ARPA)

Motion to accept bid proposal from Miller Hydrolic Incorporated for Well Testing and Data Analysis of Pine Island Water Well #7 in an amount not to exceed \$24,905.00 to be allocated from ARPA funds.

#R2024-315 USE ARPA FUNDS TO PAY TURNBULL WELL DRILLING

Motion to use ARPA funds to pay Turnbull Well Drilling in the amount of \$6,894.56 to cover costs of deepening Pine Island Well #7.

**#R2024-316 ACCEPT BID PROPOSAL FOR WICKHAM SEWER SAND FILTER
WICKHAM SEWER SAND FILTER**

Motion to accept bid proposal from Coppola Water Infrastructure and Services for replacement sand filter media with funds allocated from ARPA in the amount of \$11,929.00.

#R2024-317 CREATE (1) FULL TIME GROUNDSKEEPER POSITION

Motion to create one (1) Full Time Groundskeeper position for the Town of Warwick.

#R2024-318 APPOINT HENRY GROEN TO FULL TIME GROUNDSKEEPER

Motion to appoint Henry Groen to a Full Time Groundskeeper, Grade 3 Step 1, at a pay rate of \$22.16 per hour as per the CSEA Contract effective immediately.

**#R2024-319 AUTHORIZE SUPERVISOR TO SIGN NYS LIQUOR AUTHORITY
LAND LORD AUTHORIZATION FORM**

Motion to authorize Supervisor to sign New York State Liquor Authority Land Lord Authorization Form for the Fuller Moon Arts Fest at Mountain Lake Park on August 24, 2024 (Rain date August 25, 2024)

#R2024-320 ACCEPT BID PROPOSAL FOR A 14X20 SHED

Motion to accept bid proposal to purchase and deliver a 14 X 20 A-Frame Shed in a cost not to exceed \$10,385.00 from Grey's Woodworks.

#R2024-321 AUTHORIZATION TO ATTEND ASSESSOR TRAINING SESSION

Motion to authorize the Assessor, to attend The New York State Assessor's Association (NYSAA) Fall Training Session on Assessment Administration in Fairport, NY from September 23rd through September 26th, 2024. Funds for these training sessions are in the current budget.

#R2024-322 REFUND PLANNING BOARD ESCROW- SBL# 42-1-110.4

Motion to refund remaining Planning Board Escrow in the amount of \$2,397.10 back to Kirk Rother for tax parcel SBL#42-1-110.4 property located at 206 Pine Island Turnpike.

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#R2024-323 REFUND PLANNING BOARD ESCROW- SBL# 58-2-39

Motion to refund remaining Planning Board Escrow in the amount of \$701.63 back to Ralph & Chris-Ann Garcia for tax parcel SBL#58-2-39 property located 339 Nelson Road.

#R2024-324 REFUND SWIMM LESSON- ESTAFANY PERALTA

Motion to refund Mountain Lake Park swimming lesson fee back to Estefany Peralta in the amount of \$250.00.

#R2024-325 WAIVE THIRTY (30) DAY ADVANCE NOTICE TO LOCAL MUNICIPALITY FOR ON-PREMISES ALCOHOLIC BEVERAGE LICENSE – FENCE ROAD FARM BREWERY LLC

Motion to waive the thirty day advance notice to a Local Municipality or Community Board requirement for an on- premises alcoholic beverage license for Fence Road Brewery LLC., Located at 13 Fence Road, Warwick, New York.

#R2024-326 WAIVE THIRTY (30) DAY ADVANCE NOTICE TO LOCAL MUNICIPALITY FOR ON-PREMISES ALCOHOLIC BEVERAGE LICENSE – MASKER FARM LLC

Motion to waive the thirty day advance notice to a Local Municipality or Community Board requirement for an on- premises alcoholic beverage license for Masker Farm LLC., Located at 45 Ball Road, Warwick, New York.

#R2024-327 REQUEST TO PARTICIPATE – AGRICULTURAL PROTECTION OVERLAY DISTRICT- SECTION 8 BLOCK 2 LOT 8.2

Motion to adopt the following resolution regarding Request for Participation in the Town of Warwick Agricultural Protection Overlay District:

WHEREAS, the Town of Warwick adopted a Zoning Law, known as the 2002 Zoning Law of the Town of Warwick, adopted January 24, 2002; and

WHEREAS, said Zoning Law contained provisions for an Agricultural Protection Overlay (AP-O) District one of the purposes of which was to recognize and codify the importance of agriculture to the future of the Town of Warwick and the welfare of its citizens; and

WHEREAS, said Zoning Law established an overlay district as shown on the Town of Warwick Agricultural Protection Overlay District Qualifying Area Map parcels which could qualify for the benefits of the AP-O District; and

WHEREAS, Section 164-47.3. B sets forth the applicability of said AP-O District to lands within the Town of Warwick; and

**ADENDUM #3
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WHEREAS, Paragraph 5 of Section 164-47.3. B. provides for a mechanism for land owners who are within the AP-O District, pursuant to the criteria listed in paragraph B.1, thereof, to apply for the benefits of said district; and

WHEREAS, pursuant to the procedure set forth, the Town of Warwick has received an Application for Participation, on the proper form submitted to the Town Clerk as required, from Patrick Scott and Soham Dhesi, 66 Wheeler Road, Florida, NY for a 24.10 acre parcel known as Section 8 Block 2 Lot 8.2 of the Tax Map of the Town of Warwick; and

WHEREAS, the Town Board has determined that this particular parcel is one of the parcels included in the area shown on the Overlay District Qualifying Area Map and has therefore met the requirements set forth for inclusion in the AP-O District as a participating parcel;

NOW, THEREFORE BE IT RESOLVED, that Tax Map Section 8 Block 2, Lot 8.2 of the Tax Map of the Town of Warwick and belonging to Patrick Scott and Soham Dhesi, is hereby declared eligible to participate under the provisions of the AP-O district and is entitled to all the benefits contemplated thereof; and

BE IT FURTHER RESOLVED that an Appendix to the zoning Law be updated to reflect that the above described Patrick Scott and Soham Dhesi, parcel shall be considered included as a participating parcel in the AP-O District, and

BE IT FURTHER RESOLVED, that the AP-O Overlay District Qualifying Area Map be so marked to show the above Patrick Scott and Soham Dhesi parcel as a participating parcel within said District.

#R2024-328 AUTHORIZE COMPTROLLER TO PAY LEGAL EXPENSES

Motion to authorize the Comptroller to pay invoice # 1220691 in the amount of \$10,369.53 to Selective Insurance Company of America for liability deductibles regarding claim # 22134030(1).

#R2024-329 ACCEPT RESIGNATION OF PART TIME BUILDING DEPARTMENT CLERK

Motion to accept the resignation of part time Building Department Clerk Patti Petreshock effective August 16, 2024.

#R2024-330 APPOINT FULL TIME POLIC OFFICER CURTIS K. PAUL

Motion to appoint Curtis K. Paul as a full-time police officer with a pay rate of \$36.36 per hour, the year 1 rate, as specified in the PBA Collective Bargaining Agreement effective August 10, 2024.

#R2024-331 APPOINT CHASE M. TOTH AS PART-TIME POLICE DISPATCHER

Motion to appoint Chase M. Toth as a part-time police dispatcher at a rate of pay of \$20.00 per hour effective August 10, 2024 as per recommendation letter from the Police Chief dated August 6, 2024.

**ADENDUM #3
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#R2024- 332 APPROVE SPECIAL EVENT PERMIT – TASTE OF WARWICK

Motion to approve Warwick Valley Chamber of Commerce Special Event Permit to host Taste of Warwick at the Warwick Valley Winery on September 10, 2024.

#R2024- 333 AUTHORIZE THE SALE OF FOUR SURPLUS POLICE VEHICLES – GOV DEALS

Motion to authorize the sale, through Gov Deals, of the following four (4) surplus police vehicles:

2007 Crown Victoria	VIN 2FAHP71W77X125721	\$1,175.00
1982 Chevrolet	VIN CPL32833101510000	\$2,400.00
2014 Chev. Tahoe	VIN 1GNLC2E03ER194252	\$3,750.00
2015 Ford Van	VIN 1FDFF4FDA06893	\$5,050.00

#R2024-334 REQUEST TO SERVE ALCOHOL – CRISTAL MANZANO

Motion granting permission to Cristal Manzano to serve alcohol at Wickham Woodland Manor on August 17, 2024. Certificate of Liability and Liquor Liability Insurance is on file in the Clerk's office.

#R2024-335 REQUEST TO SERVE ALCOHOL – KEVIN DAUWALTER

Motion granting permission to Kevin Dauwalter to serve alcohol at Wickham Woodland Manor on August 24, 2024. Certificate of Liability and Liquor Liability Insurance is on file in the Clerk's office.

#R2024-336 REQUEST TO SERVE ALCOHOL – WVHS CLASS OF 1974

Motion granting permission to Doug Stage/WVHS Class of 1974 to serve alcohol at Mountain Lake Park on September 14, 2024. Certificate of Liability and Liquor Liability Insurance is on file in the Clerk's office.

#R2024-337 REQUEST TO SERVE ALCOHOL – WARWICK FIRE DEPARTMENT

Motion granting permission to Warwick Fire Department to serve alcohol at Mountain Lake Park on August 23, 2024. Certificate of Liability and Liquor Liability Insurance is on file in the Clerk's office.

#R2024-338 REQUEST TO SERVE ALCOHOL – MARILYN WAGONER

Motion granting permission to Marilyn Wagoner to serve alcohol at Mountain Lake Park on September 7, 2024. Certificate of Liability and Liquor Liability Insurance is on file in the Clerk's office.

**ADENDUM #3
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#R2024-339 REQUEST TO SERVE ALCOHOL – JUSTIN & JESSICA DELIA

Motion granting permission to Justin & Jessica Dalia to serve alcohol at Mountain Lake Park on October 12, 2024. Certificate of Liability and Liquor Liability Insurance is on file in the Clerk's office.

#R2024-340 REQUEST TO SERVE ALCOHOL – RYAN AHEARN

Motion granting permission to Ryan Ahearn to serve alcohol at Mountain Lake Park on August 9, 2024. Certificate of Liability and Liquor Liability Insurance is on file in the Clerk's office.

#R2024-341 REQUEST TO SERVE ALCOHOL – BRITTANY BLAIKNER

Motion granting permission to Brittany Blaikner to serve alcohol at Mountain Lake Park on August 17, 2024. Certificate of Liability and Liquor Liability Insurance is on file in the Clerk's office.

#R2024-342 REQUEST TO SERVE ALCOHOL – MICHAEL WESLOWSKI

Motion granting permission to Michael Weslowski to serve alcohol at Mountain Lake Park on August 11, 2024. Certificate of Liability and Liquor Liability Insurance is on file in the Clerk's office.

#R2024-343 APPROVE FILM PERMIT –MATTHEW MCKAY

Motion to approve film permit to Matthew McKay for filming at Warwick Municipal Airport from August 19th -23rd, 2024 from 6am – 11pm.

#R2024-344 APPROVE PURCHASE OF BATTERY POWERED LANDSCAPING EQUIPMENT

Motion to purchase battery powered landscaping equipment from Werner's Ace #17435 in an amount not to exceed \$9,997.99 using funds acquired from the Clean Energy Communities Grant.

#R2024-345 APPOINT TYLER J. MORELLA TO FULL TIME POLICE OFFICER

Motion to appoint Tyler J. Morella as a full-time police officer with a pay rate of \$36.36 per hour, the year 1 rate, as specified in the PBA Collective Bargaining Agreement effective August 10, 2024.

#R2024-346 AUTHORIZE TOWN BOARD TO APPROVE MEMORANDUM OF AGREEMENT- CIVIL SERVICE EMPLOYEE (C.S.E.A.)

Motion to approve a Memorandum of Agreement between the Town of Warwick and Civil Service Employee Association (CSEA) Local 1000 AFSCME, AFL-CIO Town of Warwick Unit, Orange County Local 836, dated July 17, 2024 commencing January 1, 2025 for one-year period expiring December 31, 2025.

DRAFT



**New York State
Parks, Recreation and
Historic Preservation**

KATHY HOCHUL
Governor

RANDY SIMONS
Commissioner *Pro Tempore*

RECEIVED

AUG 06 2024

TOWN OF WARWICK
TOWN CLERK

July 17, 2024

Jesse Dwyer
Supervisor
132 Kings Highway
Warwick, NY 10990

Re: Black Walnut Island 2
13 Van Sickle Road
Pine Island, NY 10969
Orange County

Dear Jesse Dwyer:

Following a detailed review, the State Review Board has recommended to the Commissioner of Parks, Recreation and Historic Preservation, who is the New York State Historic Preservation Officer (SHPO), that the property identified above be listed on the New York State Register of Historic Places and nominated to the National Register of Historic Places.

After reviewing the nomination, the SHPO has agreed with the recommendation of the State Review Board and has listed the property on the State Register of Historic Places. We shall now forward the nomination to the Keeper of the National Register in Washington, D. C.

If the Keeper of the National Register approves the nomination, the property will be listed on the National Register. You will be notified when this decision is made.

We encourage you to learn more about the registers from our website, parks.ny.gov/shpo/national-register/, where you will find information about the criteria for listing as well as frequently asked questions. In addition, please see parks.ny.gov/shpo/tax-credit-programs/ for information about incentive programs for listed properties.

Information about the results of State and National Register listing were included in our earlier notification letter. If you have any further questions, please contact your field representative Daniel Boggs, at the **Division for Historic Preservation**, (518) 268-2201 or via email at daniel.boggs@parks.ny.gov.

Para información en español vaya a parks.ny.gov/shpo/national-register/ y parks.ny.gov/shpo/tax-credit-programs/

Sincerely,

R. Daniel Mackay
Deputy Commissioner for Historic Preservation and
Deputy State Historic Preservation Officer

Division for Historic Preservation

P.O. Box 189, Waterford, New York 12188-0189 • (518) 237-8643 • parks.ny.gov

● 518-237-8643 ● <https://parks.ny.gov/shpo> ●



**Department of
Transportation**

KATHY HOCHUL
Governor

MARIE THERESE DOMINGUEZ
Commissioner

July 12, 2024

RECEIVED

AUG 06 2024

TOWN OF WARWICK
TOWN CLERK

Mr. Jesse Dwyer
Town Supervisor
Town of Warwick
132 Kings Highway
Warwick, NY 10990

Dear Mr. Dwyer:

The New York State Department of Transportation is pleased to announce that the Town of Warwick application for the replacement of the Jayne Street bridge over the Millers Creek has been approved for funding through the 2023 BRIDGE NY Program in the amount of \$1,350,000.

Projects were selected based on a condition and need analysis along with consideration of available funds. A representative from the Department's regional office will contact you to discuss the next steps required to advance your project.

If you have any questions regarding this selection, feel free to contact Donald Mattimore at (518) 485-1382 or Don.Mattimore@dot.ny.gov.

Sincerely,

Marie Therese Dominguez
Commissioner



Steven M. Neuhaus
County Executive

Amanda Dana
Director of Tourism

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AUG 06 2024

TOWN OF WARWICK
TOWN CLERK

June 26, 2024

Samantha Walter, Director
Town of Warwick Recreation Department
132 Kings Highway
Warwick, NY 10990

Dear Samantha,

Orange County is pleased to inform you that the Town of Warwick has been awarded a Municipal Tourism Grant in the amount of \$4,999.00.

We thank the Town of Warwick for its application, and continued efforts to host great events that are such an asset to the community.

We look forward to working with you again.

Sincerely,

Steven M. Neuhaus
County Executive

Amanda Dana
Director of Tourism & Film

Orange County Genealogical Society
www.ocgsny.org

Saturday, September 7, 2024

10:30 AM – 12:00 PM
1841 Historic Courthouse
101 Main Street
Goshen, NY

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TOWN OF WARWICK
TOWN CLERK

**“What was the fate of the German Palatines who
arrived in Newburgh in 1709”**

Presented by: Joseph Lieby



In 1709, sixteen families of German Palatines were settled in what would later be called Newburgh. Ten years later when a land grant for the Palatines was issued by the Colony of New York, only nine families were named. What happened to the original sixteen families?

Joseph Lieby, Ed.D.: Joseph was born in Brooklyn, New York. He received a Master's degree in psychology from Fordham University, and a Doctorate in education from Teacher's College, Columbia University. He is a retired school administrator and professional genealogist who has edited genealogical newsletters. He has been engaged in genealogical research in the New York, New Jersey area since 1990. He has served as president of national organizations and he is also Trustee of the Orange County NY Genealogical Society.

This program is free and open to the public

Information: visit our web site www.ocgsny.org or contact Anna Calli at acalli1065@aol.com or annamariDCALLI@gmail.com or Marilyn Terry at mvtgrterry@aol.com

Warwick Town Clerk

From: AnnaMarie <aacalli1065@aol.com>
Sent: Tuesday, August 6, 2024 1:39 PM
Subject: Orange County Genealogical Society (OCGS) - September 7, 2024 Program Joe Lieby
Attachments: Joe Lieby - 7 Sept 2024.pdf

Good Afternoon,

OCGS will be holding a free program on September 7, 2024, 10:30am - 12:00pm.

Our speaker will be Joe Lieby.

Attached is a copy of the program flyer. Please feel free to post and share with friends.

We hope to see you there.

Anna Marie Calli
OCGS, Program Coordinator

X

**TOWN OF TUXEDO
NOTICE OF PUBLIC HEARING**

PUBLIC NOTICE is hereby given that on August 12, 2024, the Town Board of the Town of Tuxedo, New York introduced a local law entitled, "AMENDING CHAPTER 98 ("ZONING") OF THE TOWN OF TUXEDO RELATIVE TO THE ILLUMINATION OF SIGNS AT PRE-EXISTING AUTOMOTIVE GAS STATIONS," which local law would permit internally illuminated signs for existing automotive gas stations.

The Town Board of the Town of Tuxedo, New York, will hold a public hearing on the aforesaid Local Law at the Town of Tuxedo Town Hall, 1 Temple Drive, Tuxedo, New York, on August 12, 2024, at 7:00 P.M., or as soon thereafter as the public can be heard, at which time all persons interested therein shall be heard.

A copy of the Introductory Local Law is available for inspection at the Town Clerk's Office.

The Town of Tuxedo will make every effort to assure that the hearing is accessible to persons with disabilities. Anyone requiring special assistance and/or reasonable accommodation should contact the Town Clerk.

Dated: July 22, 2024

BY ORDER OF THE TOWN BOARD OF THE TOWN OF TUXEDO

MARISA DOLLBAUM, TOWN CLERK

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JUL 25 2024
TOWN OF WARWICK
TOWN CLERK

EXTRACT OF MINUTES

Regular Meeting of the Town Board of the Town of Tuxedo
in the County of Orange, New York
1 Temple Dr., Tuxedo, NY 10987 and via Zoom
July 22, 2024

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TOWN OF WARWICK
TOWN CLERK

Present: Supervisor: Dave McMillen
Deputy Supervisor: Rick Marsh
Councilmember: Deirdre Murphy
Councilmember: Chris Kasker

Absent: Councilmember: Chris Dollbaum

**Agenda Item #2 - RESOLUTION INTRODUCING PROPOSED LOCAL LAW ENTITLED
“AMENDING CHAPTER 98 (“ZONING”) OF THE TOWN OF TUXEDO RELATIVE TO THE
ILLUMINATION OF SIGNS AT PRE-EXISTING AUTOMOTIVE GAS STATIONS”**

WHEREAS, §98-30 regulates signs in the Town of Tuxedo; and

WHEREAS, the NYS Fire Code requires gas stations to have a canopy or some other overhead structure to support fire suppression systems, and the industry standard is to put branding on the canopy like signs and lighting; and

WHEREAS, the typical gas station has internally illuminated signs that display brand information and prices; and

WHEREAS, §98-30(G)(2)(a)(4) prohibits the construction of any new internally illuminated box signs and §98-30(L) prohibits the ZBA from granting a variance for a prohibited sign; and

WHEREAS, prohibiting gas stations from constructing any new box signs will put them at a competitive disadvantage if they are removed so existing signs that are in poor condition will be retained and not upgraded; and

WHEREAS, the Town Board has reviewed the 2018 Comprehensive Plan Update, and this proposed change does not contravene any provisions of the Plan; and

WHEREAS, the Town Board has determined that the proposed adoption of the aforementioned Local Law is a Type I action pursuant to 6 NYCRR § 617.4(b)(2); and

WHEREAS, the Town Board is the only agency having approval authority for this action so it shall serve as the lead agency for purposes of SEQRA review;

NOW THEREFORE BE IT RESOLVED that introductory Local Law 4, entitled, “AMENDING CHAPTER 98 (“ZONING”) OF THE TOWN OF TUXEDO RELATIVE TO THE ILLUMINATION OF SIGNS AT PRE-EXISTING AUTOMOTIVE GAS STATIONS” is introduced by Councilmember Murphy, before the Town Board of the Town of Tuxedo in the County of Orange and State of New York, for its consideration and adoption; and

BE IT FURTHER RESOLVED that copies of the aforesaid proposed local law be laid upon the desk of each member of the Board, and

BE IT FURTHER RESOLVED that the Board hold a public hearing on said proposed local law at the Town Hall, One Temple Drive, Tuxedo, New York at 7:00 P.M. on August 12, 2024, and

BE IT FURTHER RESOLVED that the Town Clerk publish or cause to be published a public notice in the official newspaper of the Town of Tuxedo of said public hearing at least ten (10) days prior thereto; and

BE IT FURTHER RESOLVED that the Town Clerk is directed to act as follows with respect to the proposed Local Law:

- a. To serve a copy of this resolution, the annexed proposed Local Law, the Full Environmental Assessment Form and the public hearing notice to the municipal clerks of the Towns of Monroe, Ramapo, Warwick, and Woodbury, the Clerk of the Rockland County Legislature, and the Palisades Interstate Park Commission not less than ten (10) days prior to said public hearing as required by §98-90(E); and
- b. To serve a copy of this resolution, the annexed proposed Local Law, the Full Environmental Assessment Form and the public hearing notice to the Orange County Department of Planning and Development for advisory review in accordance with §239-m of the New York State General Municipal Law; and
- c. To distribute a copy of this resolution, the annexed proposed Local Law, and the public hearing notice to the Town of Tuxedo Planning Board for its review and recommendation prior to said public hearing in accordance with the provisions of §98-90(A).

On a motion by Councilmember Murphy, seconded by Deputy Supervisor Marsh, the resolution was adopted on a vote of 4 Ayes, 0 Nays, 1 Absent.

The Supervisor declared this resolution adopted.

Dated: Tuxedo, New York
July 23, 2024

Marisa Dollbaum
Marisa Dollbaum, Town Clerk

RECEIVED

JUL 25 2024

TOWN OF WARWICK
TOWN CLERK

**INTRODUCTORY LOCAL LAW No. 4 OF 2024
TOWN OF TUXEDO**

**A LOCAL LAW AMENDING CHAPTER 98 (“ZONING”) OF THE TOWN OF
TUXEDO RELATIVE TO THE ILLUMINATION OF SIGNS AT PRE-EXISTING
AUTOMOTIVE GAS STATIONS**

BE IT ENACTED by the Town Board of the Town of Tuxedo, Orange County, New York,
as follows:

SECTION 1. PURPOSE.

It is the purpose of this local law to amend Chapter 98, entitled “Zoning”, in the Town of Tuxedo to permit the signage at pre-existing automotive gas stations to be internally illuminated. This local law is determined to be an exercise of the police powers of the Town to protect the public health, safety, and general welfare of its residents. This law also corrects an omission regarding permitted permanent signs in a commercial district.

SECTION 2. CHAPTER 98 (“ZONING”).

Subsection (E)(1)(c) of Article VII (“Signs”), Section 98-30 (“Signs”) of Town Code is amended to read:

- (c) In any commercial district, any sign not more than three square feet in area and with a maximum height not more than three feet above grade.

Article VII (“Signs”), Section 98-30 (“Signs”) of Town Code is hereby amended to include a new Subsection 98-30(G)(2)(a)[6] as follows:

- [6] Internally illuminated signs shall be permitted in connection with pre-existing automotive gas stations. Illumination should be appropriate to the character of the sign, and shall be steady in nature, not flashing, moving or changing in brilliance, color or intensity.

SECTION 3: SUPERSEDING PROVISION.

To the extent that any State or local laws fail to provide specific authority for this Local Law or the procedures necessary for its adoption, or otherwise appear to be in conflict with this Local Law or the procedures followed for its adoption, then such laws, including, but not limited to, Article 16 of the New York State Town Law, are hereby superseded by this Local Law pursuant to New York Municipal Home Rule Law and the common law.

SECTION 4: SEVERABILITY

If any clause, sentence, paragraph, section or part of this Local Law shall be adjudged by any court of competent jurisdiction to be invalid, such judgment shall be confined in its operation to the clause, paragraph, section or part thereof directly involved in the controversy in which such

judgment shall have been rendered, and the remaining provisions shall remain in full force and effect.

SECTION 5: EFFECTIVE DATE.

This law shall take effect upon the filing of this Local Law with the New York Secretary of State in the manner provided for in the Municipal Home Rule Law.

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information

Name of Action or Project: Introductory Local Law 4 of 2024: Sign Amendment		
Project Location (describe, and attach a general location map): Town of Tuxedo, Orange County, New York		
Brief Description of Proposed Action (include purpose or need): It is the purpose of this local law to amend Chapter 98, entitled "Zoning", in the Town of Tuxedo to permit the signage at pre-existing automotive gas stations to be internally illuminated. This local law is determined to be an exercise of the police powers of the Town to protect the public health safety and general welfare of its residents.		
Name of Applicant/Sponsor: Town of Tuxedo Town Board		Telephone: 845-351-4411
		E-Mail: supervisor@luxedogov.org
Address: 1 Temple Drive		
City/PO: Tuxedo	State: NY	Zip Code: 10987
Project Contact (if not same as sponsor; give name and title/role): David McMillen		Telephone: 845-351-4411
		E-Mail: supervisor@luxedogov.org
Address: 1 Temple Drive		
City/PO: Tuxedo	State: NY	Zip Code: 10987
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No

If Yes, what is the zoning classification(s) including any applicable overlay district?

Non-residential districts in the Town where automotive gas station, pre-existing is permitted. Southfields Hamlet Business and Tuxedo Town Center

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services

a. In what school district is the project site located? Tuxedo Union Free School District

b. What police or other public protection forces serve the project site?

Town of Tuxedo Police Department

c. Which fire protection and emergency medical services serve the project site?

Tuxedo Joint Fire District

d. What parks serve the project site?

Various Town and State Parks.

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres

b. Total acreage to be physically disturbed? _____ acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

• Total number of phases anticipated _____

• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year

• Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
--	---

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained: _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

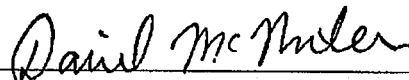
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name David McMillen, Town of Tuxedo Town Board Date July 22, 2024

Signature  Title Supervisor

Warwick Town Clerk

From: Bonilla, Odily <Odily.Bonilla@ssa.gov>
Sent: Wednesday, July 24, 2024 4:07 PM
Subject: Newburgh Social Security Office Relocation
Attachments: Newburgh Relocation Notice Spanish.pdf

RECEIVED

JUL 24 2024

TOWN OF WARWICK
TOWN CLERK



Dear Colleague,

I am writing to inform you about an important change regarding the Social Security Administration office in Newburgh, NY.

The office located at 3 Washington Center, Suite 301, Newburgh, NY 12550, will be permanently closed.

We are pleased to announce that effective July 18th 2024, the office relocated to a more centralized location to continue to provide quality customer service to our community which spans as far East as Newburgh, West to Port Jervis, as far North as Pine Bush and as far South as Tuxedo Park. Our new office location at 85 Crystal Run Road, Middletown, NY 10941, will open on Wednesday, July 24, 2024. This new, state-of-the-art facility has been selected to better serve our community, offering additional interviewing booths for enhanced service and privacy, ample and secure parking, and access via Middletown Area Transit.

The new Middletown office will maintain the same phone number, (866) 504-4801, for your convenience. Additionally, many Social Security services are available online at www.socialsecurity.gov or by calling our toll-free number, 1-800-772-1213 (TTY 1-800-325-0778). We encourage you to use these online services and schedule appointments in advance, to save time and avoid unnecessary trips to the office.

We appreciate your understanding and cooperation during this transition. Our goal is to continue providing you with the highest level of service in our new location. Should you have any questions or need further assistance, please do not hesitate to contact me.

Thank you for your continued support.

Sincerely,

Odily Bonilla

Public Affairs Specialist
297 Knollwood Rd, White Plains, NY 10607
866-331-8134 X 17734



Securing today
and tomorrow



If you're 18 or older and work, open your **my Social Security** account today at www.socialsecurity.gov/myaccount. Make sure your earnings information is correct. If you're receiving benefits already, manage your information online! www.socialsecurity.gov/myaccount.

**New York State Department of Environmental Conservation
Division of Environmental Permits**

NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY 12561
(845) 256-3054



RECEIVED

JUL 22 2024

**TOWN OF WARWICK
TOWN CLERK**

July 17, 2024

ORANGE AND ROCKLAND UTILITIES, INC.
390 W RTE 59
SPRING VALLEY, NY 10977-3104

Re: DEC ID # 3-3354-00893/00001
O&R Transmission Shoreline Armoring Line 98

Dear Applicant :

Please be advised that your application for a DEC permit(s) is complete and a technical review has commenced. Notice and the opportunity for public comment is required for this application. Enclosed is a Notice of Complete Application for your project. Please have the Notice published in the newspaper identified below once during the week of 07/22/2024 on any day Monday through Friday.

TIMES HERALD-RECORD
40 MULBERRY ST
PO BOX 2046
MIDDLETOWN, NY 10940

On the Notice of Complete Application, that information presented between the horizontal lines, on the enclosed page(s) should be published. Do not print this letter or the information contained below the second horizontal line. Please request the newspaper publisher to provide you with a Proof of Publication for the Notice. Upon receipt of the Proof of Publication promptly forward it to this office. You must provide the Proof of Publication before a final decision can be rendered on your application. You are responsible for paying the cost of publishing the Notice in the newspaper.

Notification of this complete application is also being provided by this Department in the NYSDEC Environmental Notice Bulletin.

This notification does not signify approval of your application for permit. Additional information may be requested from you at a future date, if deemed necessary to reach a decision on your application. Your project is classified major under the Uniform Procedures Act. Accordingly, a decision is due within 90 days of the date of this notice unless a public hearing is held, which may extend this time frame. If a public hearing is necessary, you will be notified.

If you have any questions please contact me at the above address or phone number above.

Sincerely,

Alysse Devine

ALYSSE DEVINE

Division of Environmental Permits

THIS IS NOT A PERMIT



New York State Department of Environmental Conservation Notice of Complete Application

Date: 07/17/2024

Applicant: ORANGE AND ROCKLAND UTILITIES, INC.
390 W RTE 59
SPRING VALLEY, NY 10977-3104

Facility: O&R Transmission Shoreline Armoring Line 98
Long Meadow Rd b/w Old Forge Rd & Beech Rd
Tuxedo Park, NY 10987

Application ID: 3-3354-00893/00001

Permits(s) Applied for: 1 - Article 15 Title 5 Stream Disturbance
1 - Article 24 Freshwater Wetlands

Project is located: in WARWICK in ORANGE COUNTY

Project Description:

The applicant proposes to armor the shoreline of a perennial stream adjacent to Transmission Line 98, poles 46 through 52, to maintain the integrity of the existing utility line by protecting wooden structures from erosion and scour. The proposed work includes armoring 630 feet of the streambank of the Ringwood River [Water Index Number NJ-13, Class C(T)] with imbricated rock walls and a gabion basket wall. A portion of the access road is within the 100-foot Adjacent Area of NYS Freshwater Wetland GR-15, Class 2. This action will create approximately 1,343 square feet (0.03 acres) of disturbance to the AA. No disturbance to the wetland is proposed.

Availability of Application Documents:

Filed application documents, and Department draft permits where applicable, are available for inspection during normal business hours at the address of the contact person. To ensure timely service at the time of inspection, it is recommended that an appointment be made with the contact person.

State Environmental Quality Review (SEQR) Determination

Project is an Unlisted Action and will not have a significant impact on the environment. A Negative Declaration is on file. A coordinated review was not performed.

SEQR Lead Agency None Designated

State Historic Preservation Act (SHPA) Determination

Evaluation using a Structural-Archaeological Assessment Form or other information has concluded that the proposed activity will not impact registered, eligible or inventoried archaeological sites or historic structures.

Availability For Public Comment

Comments on this project must be submitted in writing to the Contact Person no later than 08/08/2024 or 15 days after the publication date of this notice, whichever is later.

Contact Person

ALYSSE DEVINE
NYSDEC
21 S Putt Corners Rd
New Paltz, NY 12561

CC List for Complete Notice

Casey Thompkins, O&R
Michael Fraatz, NYSDEC
Town of Warwick
ENB

Warwick Town Clerk

From: Jesse Dwyer <jdwyer85@gmail.com>
Sent: Friday, July 19, 2024 10:20 AM
To: Warwick Town Clerk
Subject: Fwd: Sheds unlimited
Attachments: 20240716_113103.jpg; 20240716_113657.jpg

RECEIVED
JUL 19 2024
TOWN OF WARWICK
TOWN CLERK

other quote for town hall shed

----- Forwarded message -----
From: **edward bilello** <splore11@gmail.com>
Date: Fri, Jul 19, 2024 at 10:17 AM
Subject: Fwd: Sheds unlimited
To: jdwyer85@gmail.com <jdwyer85@gmail.com>

----- Forwarded message -----
From: **edward bilello** <splore11@gmail.com>
Date: Tue, Jul 16, 2024, 11:45 AM
Subject: Sheds unlimited
To: <supervisor@townofwarwick.org>

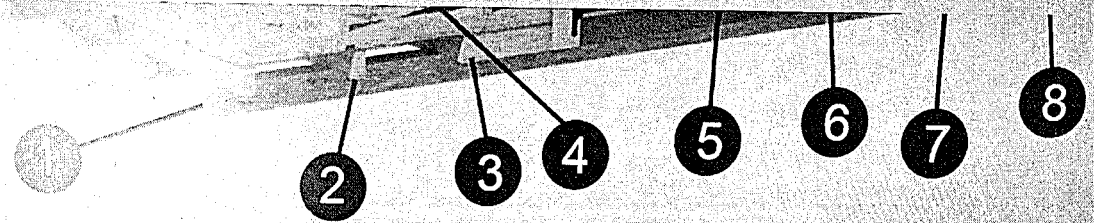
14x20 standard
Price \$10981
Shipping \$1500

12,481 → Total

L DUTCHLAP SIDING PRICES

Wide	12' Wide		14' Wide		16' Wide	
\$5,244	12x12	\$6,337	14x16	\$9,509	16x18	\$16,023
\$5,670	12x14	\$6,907	14x18	\$10,243	16x20	\$17,157
\$6,099	12x16	\$7,598	14x20	\$10,981	16x22	\$18,290
\$6,525	12x18	\$8,228	14x22	\$11,718	16x24	\$19,426
\$6,945	12x20	\$8,860	14x24	\$12,454	16x26	\$20,562
\$7,374	12x22	\$9,489	14x26	\$13,192	16x28	\$21,689
\$7,803	12x24	\$10,123	14x28	\$13,926	16x30	\$22,827
\$8,231	12x26	\$10,753	14x30	\$14,659	16x32	\$23,959
\$8,659	12x28	\$11,384	14x32	\$15,394	16x34	\$25,089
\$9,084	12x30	\$12,015	14x34	\$16,132	16x36	\$26,223





Pressure-treated 4x4s
 Pressure-treated 2x4s, 16" on-center
 g: Pressure-treated 2x4s
 ng: 5/8"; options available
 s: Double doors in color of choice
 es: "Classic" style
 lows: 18x36 w/screen (x2)
 ters: Painted Z shutters
 er Trim: Included in color of choice
 s: 2x4s, 16" on-center
 Plate: Double 2x4s
 sia: Included in color of choice
 o Edge: Included
 ters/Trusses: 2x4s, 16" on-center
 of Sheathing: 7/16" OSB
 of Underlayment: Synthetic
 of Material: 30-yr architectural shingles
 of Pitch: 6/12

- 8' Workshop – 9' 8" h
- 10' Workshop – 10' 3"
- 12' Workshop – 10' 9"
- 14' Workshop – 11' 3"



Warwick Town Clerk

From: Jesse Dwyer <jdwyer85@gmail.com>
Sent: Friday, July 19, 2024 10:20 AM
To: Warwick Town Clerk
Subject: Fwd: Mysheds.com
Attachments: 20240716_114933.jpg; 20240716_114917.jpg

RECEIVED
JUL 19 2024
TOWN OF WARWICK
TOWN CLERK

----- Forwarded message -----

From: **edward bilello** <splore11@gmail.com>
Date: Fri, Jul 19, 2024 at 10:17 AM
Subject: Fwd: Mysheds.com
To: jdwyer85@gmail.com <jdwyer85@gmail.com>

----- Forwarded message -----

From: **edward bilello** <splore11@gmail.com>
Date: Tue, Jul 16, 2024, 11:52 AM
Subject: Mysheds.com
To: <supervisor@townofwarwick.org>

14x20 standard
\$10640
Shipping \$1800

\$ 12 470

\$11,030

\$11,650

\$12,280

\$12,890

\$13,540

\$14,740

\$10,640

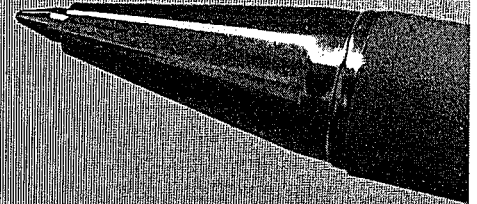
\$12,260

\$13,730

\$15,200

\$16,640

\$18,110



GET A QUOTE

When building a backyard shed may be a big decision, the options available make it a breeze. The finished product will be made the choice to add an a-frame shed. All of the extra space will be just what you are looking for.

A-Frame Shed Features

- 4 X 4 Pressure Treated Skids form the foundation
- Floor Joists are standard 2x4's 16" on center
- 5/8" SmartFinish Wood Flooring
- Walls are Standard with 2 X 4s 16" OC
- Standard Wall Height is 6'7" on 8' & 10' Wide Buildings
- And 7' High Walls on 12' & 14' Wide Buildings
- 1/2" LP Smartside Siding Finishes the Exterior OR
- Optional (Cedar Creek Vinyl Siding w/ 1/2" Wood Sheathing) OR
- Optional (Hardi-Plank Lap Siding)
- Set of Double Doors with Aluminum Diamond Floor
- Includes 2- 18" X 27" Windows
- Rafters are constructed of 2 X 4s 16" OC
- Roof consists of 1/2" sheathing
- Tar Paper
- 30-year Architectural Shingles
- Standard Double Door widths:
 - 8 wide building = 4' Wide x 6' High Doors
 - 10 wide building = 5' Wide x 6' High Doors
 - 12 and 14 wide buildings = 6' Wide x 6'4" High



7862 Route 55 | P.O. Box 420
Grahamsville, New York 12740

845.985.7006 | greyswoodworks.com

RECEIVED

JUL 19 2024

TOWN OF WARWICK
TOWN CLERK

PROPOSAL

DATE: July 12, 2024
PROPOSAL # G24058
FOR: 14'x20' Patriot A-Frame

"Building with you in mind since 1979."

Proposal For:
Town Of Warwick
Edward B

845-590-9503
SPLORE11@AOL.COM

DESCRIPTION	AMOUNT
14'x20' Patriot A-Frame with Painted Duratemp Siding, Miratec trim	\$10,585
2"x4" Wall Framing, 16" On-Center	included
3/4" Pressure Treated Plywood Flooring, 2"x4" PT Floor Joists 12" On Center, 4"x4" PT Ties	included
Roof Rafters 16" on center	included
30 Year Architectural Shingles	included
6' Wide Duratemp Double Doors with Transom Windows (or Solid)	included
3' Wide Duratemp Single Door with Transom Window (or Solid)	\$300
2 - 24"x36" Aluminum Windows with Screens	included
Deliver Fully Built	included
July Promo <i>*Must Place Order by July 31st, 2024</i>	-\$500
Subtotal	\$10,385
Tax	Exempt
Delivery included. Building Permit Fee by town is TBD.	
TOTAL	\$ 10,385.00

We propose herby to furnish material and labor - complete in accordance with the above specifications, for the above total.

Payment to be made as follows:

25% deposit to be paid when order is placed, balance due on date of completion. Please allow 6 weeks for delivery

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Worker's Compensation Insurance.

Authorized Signature: _____

Acceptance of Proposal

The above prices, specifications, and conditions are satisfactory and are herby accepted. You are authorized to do the work as specified. Payment will be made as outlined above

Signature: _____

Date of Acceptance: _____



7862 Route 55 | P.O. Box 420
Grahamsville, New York 12740

845.985.7006 | greyswoodworks.com

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Authorized Signature: _____

Acceptance of Proposal

The above prices, specifications, and conditions are satisfactory and are herby accepted. You are authorized to do the work as specified. Payment will be made as outlined above

Signature: _____

Date of Acceptance: _____



July 15, 2024

HDR Inc.
Attn: Laura Barca
50 Tice Boulevard
Woodcliff Lake, NJ 07677

Ms. Barca;

Re: Town of Warwick Sewer Treatment Plant 50 State School Road Warwick, NY

Scope of work:

1. Vactor out sand from sand filters and wash out.
2. Remove the underdrain screens, gaskets and hardware holding down the gaskets.
3. Install customer supplied new gaskets (re-use existing screens)
4. Re-install all hardware to properly secure gaskets and screens.
5. Install customer supplied sand.

1. Coppola Services will provide a vactor truck with operator.
2. Coppola Services will provide a support truck with 2 laborers.

Rate: \$11,929.00 for 2 days

Day 1 – remove sand, filters and screen

Day 2 – reinstall filters and screens. Add new sand.

Notes and Exclusions:

1. This quote is prevailing wage daytime hours Monday through Friday .
2. Coppola Services is not responsible for filters, screens or installation hardware while performing the work.
3. This quote includes disposal of filter sand..
4. This quote does not include applicable taxes.
5. Coppola Services is not responsible for parking lots, driveways, curbs or storm drain grates.
6. This quote is good for 30 days.

Note: At this time Coppola has not been given any notes or drawings relating to the work being performed. Therefore, we do not include any procedures for cleaning or preparing surfaces, nor do we include install of any sealants other than those mentioned in our scope of work. Anything outside of the “Scope of Work” is excluded. Any needed repairs outside the “Scope of Work” will be paid for on a time and material basis plus 10% overhead and 10% profit.

Louis Ballantia
Sincerely,

Signature & Date

Payment Terms – Net 30

Note: One and one-half percent (1 ½%) per month will be charged for a service charge on all unpaid bills. If a bill remains unpaid (90) days from the date of the invoice, the customer agrees to be liable for all legal expenses, including counsel fees.

114 Hartley Road
Goshen NY 10924



P: (845) 294-8882
F: (845) 294-8883

Quote

Customer Town of Warwick
Water & Sewer Dept.- 132 Kings Highway
Warwick NY 10990

Date Estimate #
07/02/2024 6669

PO #:

Description	Unit	Quantity	Rate	Amount
- Sand Filters				
TAM Enterprises Inc. is pleased to quote the following:				
- Vac out sand from (2) sand filters and wash out.				
- Remove underdrain screens and gaskets & hold down hardware.				
- Installation of customer supplied new gaskets.				
- Re-use existing screens.				
- Reinstall all hold down hardware.				
- Install new customer supplied sand.				
For the sum of:		1.00	24250.000	24,250.00

Notes

Customer Signature _____

Accepted By : _____

Subtotal	\$24,250.00
Sales Tax:	0.00
Quote Total	\$24,250.00

24 Hour Emergency Service - Certified Backflow Prevention Technician - Hydro Vacuum Excavation - Pump Station Installation & Maintenance
High Pressure Water Jetting - Video Inspection of Underground Lines - Installation of Water & Sewer Lines -Clearing of Catch Basins
Man Hole Rehabs - Sewer & Water Plant Rehabs - Confined Space Entry - Pipe Lining Services - Soil Remediation Services
Pipe Location Services - Wet Taps - Inset-A-Valves - Industrial Tank Pumping - Excavation Services - Emergency Sewer By-Pass Pumping

www.tamenterprises.com

Warwick Town Clerk

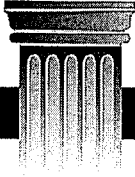
From: Matthew McPherson
Sent: Tuesday, July 30, 2024 8:13 AM
To: Town of Warwick Supervisor
Cc: Warwick Town Clerk
Subject: sand filter quotes
Attachments: Warwick STP _Sovereign Proposal.pdf; coppola sand filters.pdf; Tam sand filters.pdf

Jesse,

3 quotes attached for Warwick sewer filter repair. Coppola the cheapest by a wide margin. I will tell coppola to proceed and write a response to the DEC giving them an update today if thats good with you.

Matt

RECEIVED
JUL 30 2024
TOWN OF WARWICK
TOWN CLERK



Sovereign Consulting Inc. Proposal Warwick WWTP – Sand Filter Media Replacement

Date: July 29, 2024

Owner: Village of Warwick

Requested By: Laura Barca, PE - HDR

Description: Sand Filter Media Replacement

Scope:

Sovereign Consulting Inc. hereby proposes a firm lump sum price based on a walk through of the facility on Monday July 15, 2024. The scope of work is inclusive of the following items with exception to any items named in the exclusion section below.

Sand Filter Media Replacement:

It is our understanding that the filter is currently bypassed and ready for media replacement. Media is being furnished by Village and engineering drawings are to be provided for various levels and quantities to be installed.

Furnish equipment and manpower to remove approximately 14 tons of media.

Provide transportation and disposal to licensed disposal facility.

Furnish equipment and manpower to install new media in existing sand filter.

Budget included for 1 day of crew labor for repairs based on findings when media is removed.

No parts, piping or diffusers included.

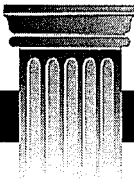
Prevailing wage labor included.

Proposal valid for 30 days.

Lump Sum Proposal

Disposal: \$6,120.00
Labor: \$18,000.00
Equipment: \$7,000.00

Total: \$31,120.00



SOVEREIGN CONSULTING INC.

Exclusions:

1. Professional Engineering Design
2. Dewatering water treatment and discharge
3. Major structural repairs to the structure are not included.
4. State Regulatory Approvals/ Permits/ Licenses / groundwater permits
5. Overtime and off hours work
6. Police duty for traffic control
7. Bonding
8. RPZ, backflow preventor and domestic lines
9. Price Escalations due to delays
10. Inspection/ Engineering/ Utility Fees
11. Sales Tax

If you have any questions or concerns, please reach out at 973-945-7687 or msaley@sovcon.com.

Thank you for this opportunity.

Michael Saley

Approval of this proposal:

Signature: _____

Date: _____

Printed Name and Title: _____

RECEIVED

AUG 05 2024

TOWN OF WARWICK
TOWN CLERK

Warwick Town Clerk

From: Elizabeth Cassidy <ecassidy@ekcassidylaw.com>
Sent: Monday, August 5, 2024 3:00 PM
To: Town of Warwick Supervisor
Cc: Etta Hamilton; Daniel Getz; Bob Krahulik; Town of Warwick Planning Department; Warwick Town Clerk; John L. Buckheit
Subject: Application of Etta Hamilton - Clinton Avenue Extension
Attachments: ltr to town board.pdf; ex. b title summary.pdf; 2068.01 - Site Plan - 2024-06-12.pdf

Good Afternoon Supervisor,

As we recently discussed, this office represents Etta Hamilton in connection with her efforts to redevelop the former Parkin building into a childcare facility. Attached please find the following:

1. Cover letter requesting that the Town abandon whatever interest it may have to Clinton Avenue Extension.
2. Copy of the most recent site plan
3. Summary of back title.

As I mentioned, it does not appear that the Town has title to Clinton Avenue nor does it maintain the area as a road.

I am happy to provide copies of any deeds or maps needed by the Board for its deliberation. I thank you for your attention to this matter.

Very Truly Yours,

ELIZABETH K. CASSIDY, ESQ.

THE LAW OFFICE OF ELIZABETH K. CASSIDY PLLC
7 GRAND STREET, WARWICK, NEW YORK 10990
P: 845.987-7223 | F: 888.549.3886
WWW.EKCASSIDYLAW.COM

FRAUD ALERT: If you receive an email from this Office requesting a wire transfer, you MUST in every instance first call us to verify the information is authentic before sending any money via a wire transfer.

This email and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. If you have received this email in error please notify the system manager. This message contains confidential information and is intended only for the individual named. If you are not the named addressee you should not disseminate, distribute or copy this e-mail. Please notify the sender immediately by e-mail if you have received this e-mail by mistake and delete this e-mail from your system. If you are not the intended recipient you are notified that disclosing, copying, distributing or taking any action in reliance on the contents of this information is strictly prohibited.

LAW OFFICE OF ELIZABETH K. CASSIDY, PLLC
7 GRAND STREET
WARWICK, NEW YORK 10990
P: 845.987.7223 | F: 888.549.3886
WWW.EKCASSIDYLAW.COM

August 5, 2024

Jess Dwyer, Supervisor
Town of Warwick
132 Kings Highway
Warwick, NY 10990

RECEIVED
AUG 05 2024
TOWN OF WARWICK
TOWN CLERK

Re: In Re Etta Hamilton
Property Address: Clinton Avenue Extension
Our File: 678-001

Dear Supervisor Dwyer:

This office represents Etta Hamilton in connection with her efforts to establish a day care facility to be located at the end of Clinton Avenue Extension. Mrs. Hamilton owns and operates The Village Childcare Services. This new facility is being developed to supplement her existing program and will focus on special needs children. The intention is to rehabilitate the existing structure and make site improvements for parking and a suitable playground. I am attaching the most recent site plan submitted to the Planning Board as Exhibit A.

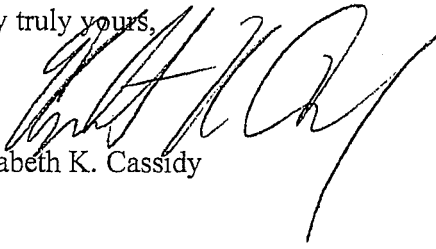
At present, Clinton Avenue Extension (CAE) appears on the tax map as a Town street from the Village line to where it ends at the lands of Pioneer Square LLC (SBL 229-1-2). It is not constructed as a Town street, nor is it maintained by the Town. The Village maintains and plows Clinton Avenue Extension up to the Town line. In addition, it appears that the CAE was never properly offered to the Town for dedication. The sole source of the Town's alleged interest is the filing of a subdivision map in 1977. However, the person who allegedly dedicated the property via a subdivision did not own the property. A more detailed title history is attached as Exhibit B.

In light of the lack of use, together with the lack of title to the Town, Mrs. Hamilton is requesting that the Town abandon any interest it may have (if it has any interest at all) to CAE. Such action is specifically authorized New York State Highway Law § 205 (1). Upon such abandonment, Mrs. Hamilton will maintain CAE as a private driveway and will provide a shared driveway/maintenance agreement. The adjoining properties (SBL 52-1-8 and 52-1-24) will continue to enjoy access over CAE to the Village street.

We respectfully request that this matter be put on your next available Town Board agenda for further discussion and consideration.

Should you have any questions, please do not hesitate to contact our office.

Very truly yours,


Elizabeth K. Cassidy

Cc: Client
Bob Krahulik, Town of Warwick Planning Board Attorney
Connie Sardo, Town of Warwick Planning Board Secretary
Daniel Getz, Engineering Properties
John Buckheit, Esq. Town Attorney
Eileen Astorino, Town Clerk

EKC/cc
Enclosure

Title History of Clinton Avenue Extension

Mrs. Hamilton acquired title to two parcels located on Clinton Avenue Extension identified as Town of Warwick SBL 52-1-9 and 52-1-10.2 together with the right of way marked Clinton Avenue Extension (CAE).

From our title research it appears that both lots were originally owned by Henry Eurich, Jr.

Lot 9, located on the western side of CAE, was then conveyed by Henry Eurich, Jr. to Lillian and Laurence Parkin. The property worked its way through various members of the Parkin Family until Larry Parkin sold it to Mrs. Hamilton in 2023.

In contrast, Lot 10.2 was a portion of Henry Eurich's land on the eastern side of CAE. Mr. Eurich conveyed that property to Samuel Wucker, who in turn conveyed it Rosanna Black, who conveyed to Water and Miriam Froyland. Ultimately, title passed, through a series of conveyances, to Larry Parkin, who in turn sold it together with Lot 9 to Mrs. Hamilton.

It is our position that Mr. Eurich never conveyed the CAE right of way to anyone or the Town of Warwick until his Estate conveyed title to Larry Parkin in 2005. It is also arguable that the CAE right of way was conveyed together with lot 9 by Henry Eurich to Mr. and Mrs. Parkin. There are several items supporting this statement.

1. Map 2135 Filed by Walter Froyland in 1965 identifies CAE as "Lands of Lillian Parkins".
2. Map 4303 Filed by Miriam Froyland in 1977 identifies CAE as a "50' right of way", not as a proposed public street or road. I note that CAE appears outside the bold line identifying Mrs. Froyland's property. Thus, it appears the existence of CAE on Map 4303 is only to identify the location of an existing easement and not create a public road.
3. The deed from Henry Eurich Jr to Lillian Parkin and Laurence Parkin (Liber 1135, Page 617, Recorded in 1946) states, "Together with all the right, title and interest of the party of the first part [Henry Eurich Jr.] in and to said proposed street known as Clinton Ave Extension and extending from Galloway Road to a point at or near the line of said Thomas Welling and being 50 feet in width". This is recognized in the 1965 Froyland Map.
4. There is no deed or offer of dedication from either Eurich or Parkin to the Town of Warwick.

There does not appear to be a basis to argue that the property is a highway by use as it as remained unimproved and unmaintained by the Town.

Mrs. Hamilton does not dispute that there are existing rights of other property owners over CAE. Those rights will be maintained through Mrs. Hamilton's maintenance of CAE as a private road or driveway. Mrs. Hamilton will provide a road/shared driveway maintenance agreement as part of the Planning Board review of the application.

52-1-10.2 (lot 2 on map 4303).

Grantor	Grantee	Date	Liber/Page	
Larry Parkin	Etta Hamilton	6/15/2023	15483, 1986	
Lawrence Parkin & Margaret Parkin	Larry Parkin	12/23/2003	11406, 331	Lot 2 on the Froyland Map
Abraham Stoutland	Lawrence Parkin & Margaret Parkin	9/1/1992	3660, 123	
Miriam Froyland	Abraham Stoutland	7/21/1990	3359, 201	Note references re Eurich Jr. 1102 at 173 and 1102, at 177.
Water E. Froyland and Miriam E. Froyland	Miriam Froyland	6/24/1977	2079, 174	Same notes as above
Rosanna M Black	Water E. Froyland and Miriam E. Froyland	11/24/1962	1632, 290	References to 1102-177 and 1102-173
Herman D Wucker and Sidney Wucker	Rosanna M Black	6/11/1959	1508-212	
Fannie Wucker, Sidney Wucker and Herman Wucker	Herman D Wucker and Sidney Wucker	6/6/1959	1506-114	
Fannie Wucker	Sidney Wucker and Herman D Wucker	7/31/1957	1434-536	(Heirs of Samuel Wucker)
Henry Eurich Jr.	Samuel Wucker	10/20/1948	1108-173	

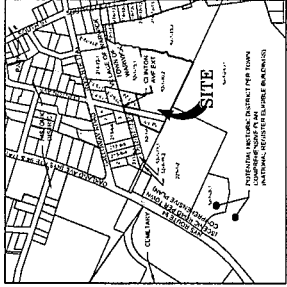
PROPERTY OWNERS WITHIN 300'

Table listing property owners within a 300-foot radius of the site, including names and addresses.

PARKING REQUIREMENTS

Table detailing parking requirements for various building types and uses, including minimum and maximum spaces.

LOCATION MAP



GENERAL NOTES

- List of general notes providing regulatory references and project-specific instructions, such as 'THIS MAP IS NOT TO BE USED FOR CONVEYANCE OF REAL ESTATE...'.

BULK REQUIREMENTS

Table of bulk requirements for the proposed use, including setbacks, height, and area ratios.

I HEREBY CERTIFY THAT THIS MAP IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY COMPLETED ON AUGUST 14, 2018.

LIST OF DRAWINGS

Table listing the drawings included in the set, such as 'GENERAL NOTES', 'SITE PLAN', and 'CONTRACT DETAILS'.

Table detailing drawing status, including dates and descriptions for various sheets.

Table detailing the date and description of plan set reviews, including 'DATE' and 'DESCRIPTION'.



AQUIFER PROTECTION

- List of aquifer protection measures and standards, including 'INSTALL AND MAINTAIN ADEQUATE MONITORING SYSTEMS...' and 'PROTECT ALL EXISTING AND PROPOSED MONITORING POINTS...'.

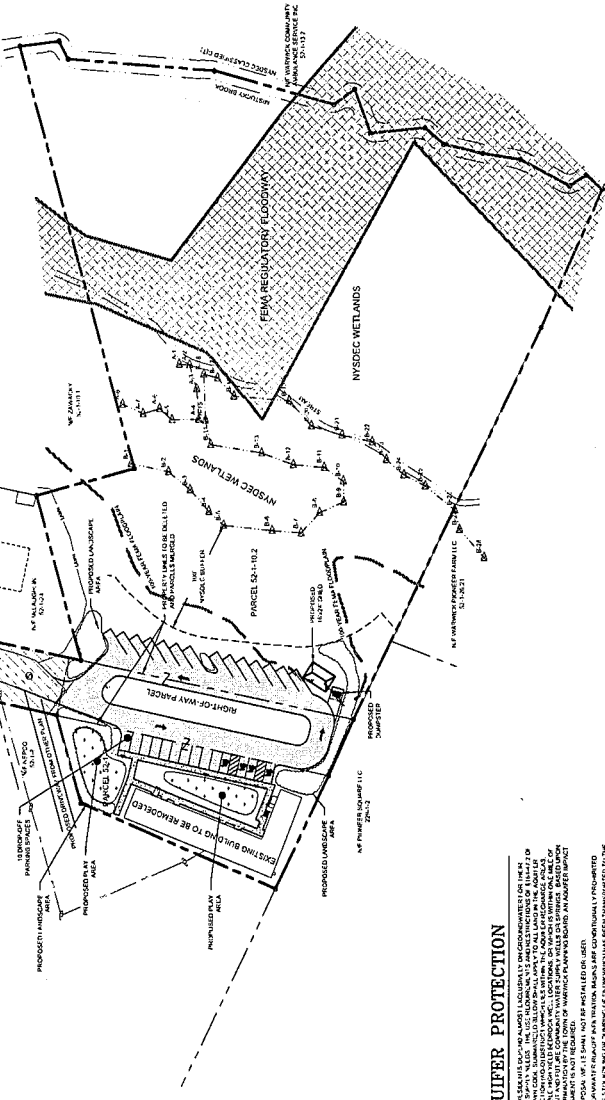
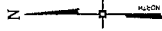
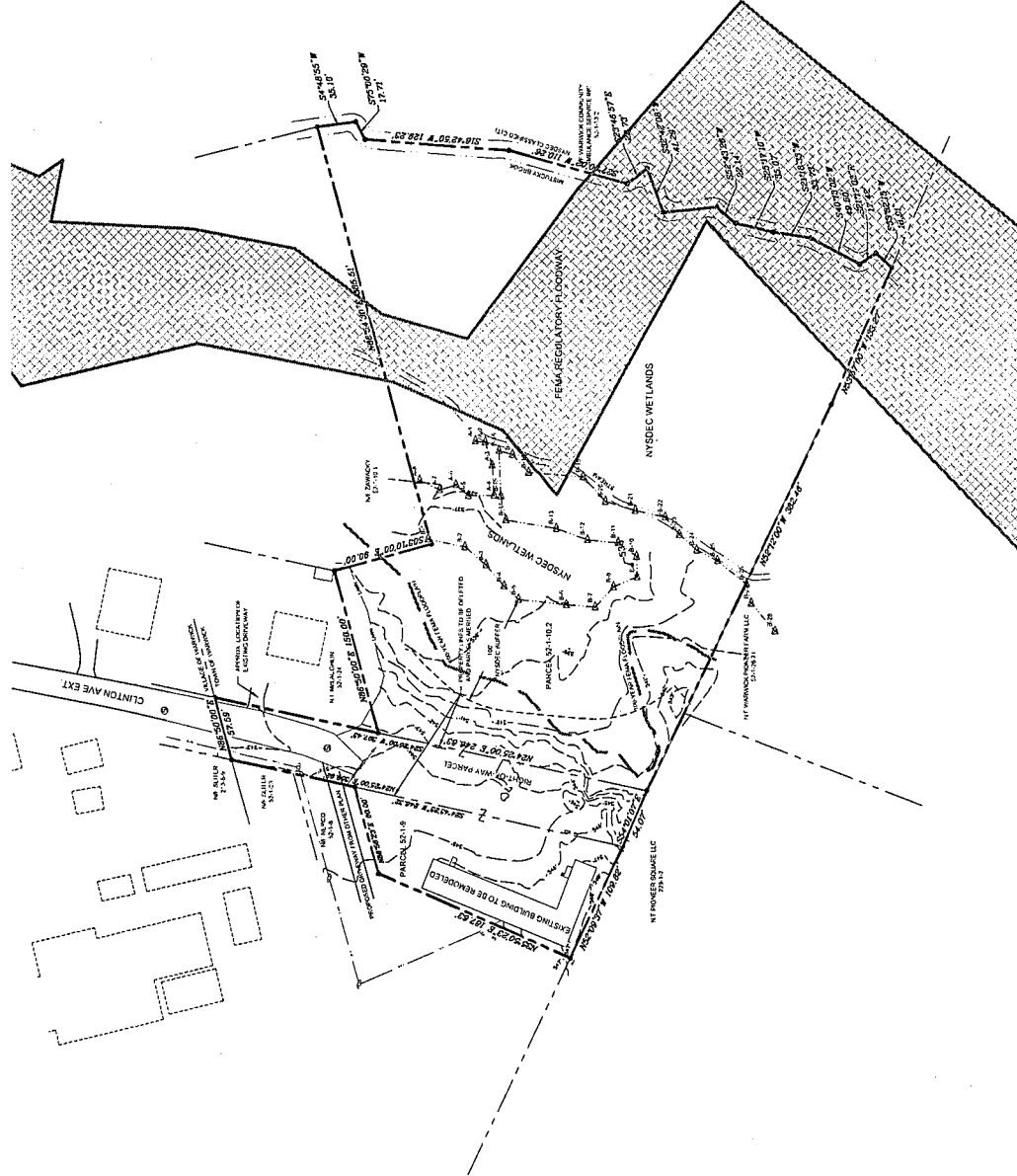


Table of overlay protection districts, including 'DISTRICT' and 'DESCRIPTION'.

Approval stamp for the Town of Warwick, including fields for 'APPROVED FOR FILING' and 'COMMISSIONER'.

Professional seal and title block for the engineer, including project name and contact information.



ENGINEERING
PROPERTIES
 340 CANTON RD
 CANTON, NY 14418
 PH: 716.437.7171
 WWW.EPC.COM

EXISTING CONDITIONS PLAN
 ELITE STRATEGIC HAMILTON
 TO CLINTON AVE EXT
 TOWN OF WARWICK
 ORANGE COUNTY, NEW YORK

DATE: 2/28/2021
 SCALE: 1" = 80'
 DRAWN BY: DG
 CHECKED BY: DG
 PROJECT NO: 21-05-01-08

C-102

COPIES OF THIS DOCUMENT
 APPROVED BY THE
 STATE OF NEW YORK
 OFFICE OF THE
 STATE ENGINEER
 120 N. ZEDBACH BLVD
 ALBANY, NY 12242
 TELEPHONE: 518.474.3200
 FAX: 518.474.3205
 WWW.STATEENGINEER.NY.GOV

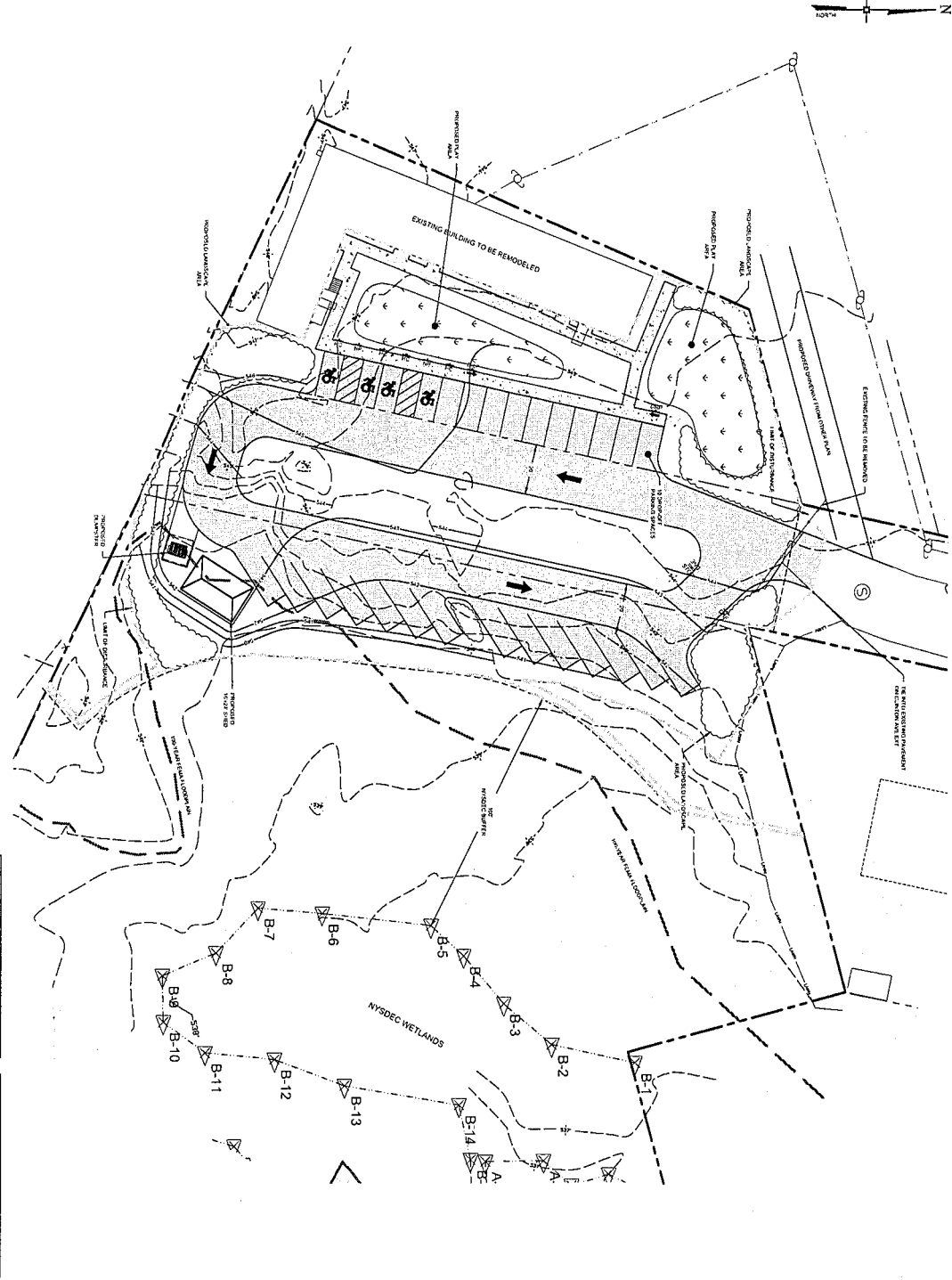
DATE: 2/28/21
 STATE ENGINEER: [Signature]
 PROJECT NO: 21-05-01-08

SCALE: 1" = 80'

DRAWING STATUS	DATE	DESCRIPTION
DESIGNED	6/17/20	DESIGN
CHECKED		
APPROVED		
CONTRACT APPROVAL		
CONTRACT APPROVAL		
CONTRACT APPROVAL		
CONTRACT APPROVAL		
CONTRACT APPROVAL		
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CONTRACT APPROVAL		
CONTRACT APPROVAL		

DRAWING STATUS	DATE	DESCRIPTION
DESIGNED	6/17/20	DESIGN
CHECKED		
APPROVED		
CONTRACT APPROVAL		
CONTRACT APPROVAL		
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CONTRACT APPROVAL		
CONTRACT APPROVAL		
CONTRACT APPROVAL		

UDIG-NY
 1180 EAST 41ST ST
 SUITE 305
 BROOKLYN, NY 11218
 TEL: 718.338.0888
 FAX: 718.338.0889
 WWW.UDIG-NY.COM



UDIG-NY
 ENGINEERING & ARCHITECTURE
 10 CLINTON AVE. EXT.
 ORANGE COUNTY, NEW YORK
 516.833.5300
 516.833.1100

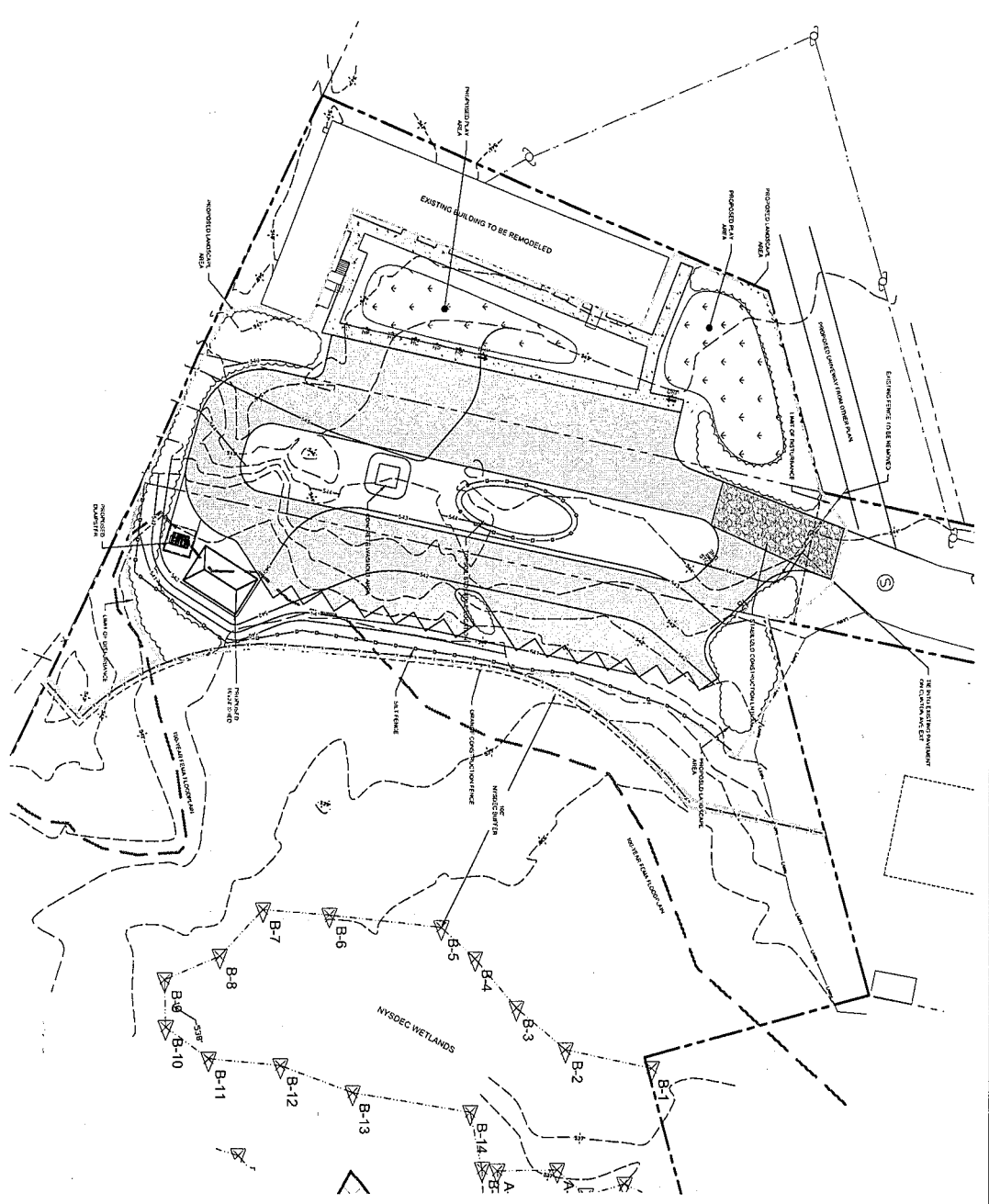
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19	01/24/13	REVISED PER COMMENTS
20	01/24/13	REVISED PER COMMENTS

DRAWING STATUS		DATE
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<input checked="" type="checkbox"/>	PERMITS	

GRADING & UTILITY PLAN
 10 CLINTON AVE. EXT.
 ORANGE COUNTY, NEW YORK

ENGINEERING PROPERTIES
 10 CLINTON AVE. EXT.
 ORANGE COUNTY, NEW YORK
 516.833.5300
 516.833.1100

C-103



NO.	DATE	DESCRIPTION

DRAWING STATUS	REVISION
THIS SHEET ISSUED FOR	SHEET
FOR PERMITS	OF
CONSTRUCTION	
DATE OF ISSUE	
BY	
CHECKED BY	
APPROVED BY	
DATE OF APPROVAL	

CERTIFICATE OF AUTHORITY
 I hereby certify that the undersigned is duly qualified and licensed as a Professional Engineer in the State of New York and is duly authorized to execute and seal this Certificate of Authority for the purpose herein stated.

PROFESSIONAL ENGINEER
JOSEPH M. FRANCO
 No. 0129473

J. Franco

ENGINEERING PROPERTIES
 30 WEST 42ND STREET, SUITE 1000
 NEW YORK, NY 10018
 WWW.ENR.COM

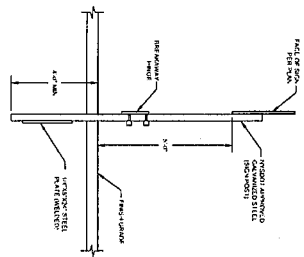
CONTROL PLAN
 ELITE STRATEGIES/MANHATTAN
 18 CLINTON AVE. EXT.
 ORANGE COUNTY, NEW YORK

PROJECT: 2888.01
 SHEET: 1 OF 28
 DATE: 6/12/24

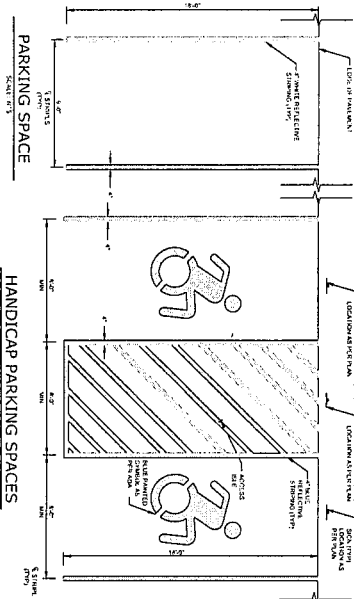
C-104

SIGN	TEXT	MULTI-C.D. NO.	SIZE OF SIGN	QUANTITY	TYPE OF MOUNT	DESCRIPTION
HP	NO PARKING	HP-1	12" x 18"	2	GRAND	WHITE BACKGROUND WITH BLACK LETTERING
HC	NO STOPPING	HC-1	12" x 18"	4	GRAND	WHITE BACKGROUND WITH BLACK LETTERING
STOP	STOP	MS-1	30" x 30"	3	GRAND	BLACK BACKGROUND WITH WHITE LETTERING
ONE	ONE WAY	MS-1	24" x 24"	2	GRAND	WHITE BACKGROUND WITH BLACK LETTERING
DRP	NO RIGHT TURN		24" x 24"	2	GRAND	WHITE BACKGROUND WITH BLACK LETTERING

SCALE: N.T.S.



SCALE: N.T.S.

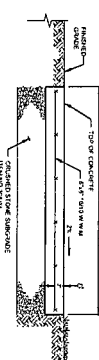
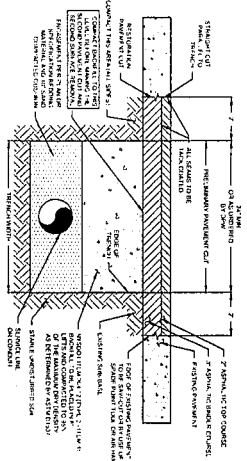


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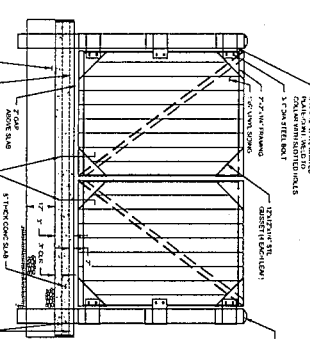
UTILITY PIPE TRENCH & PAVEMENT RESTORATION WITHIN VILLAGE R.O.W.

SCALE: N.T.S.



SCALE: N.T.S.

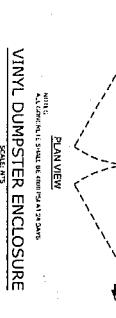
1. 1/2\"/>



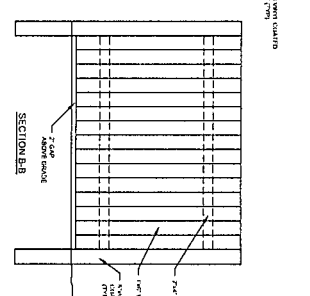
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VINYL DUMPSTER ENCLOSURE

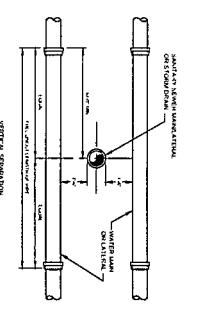
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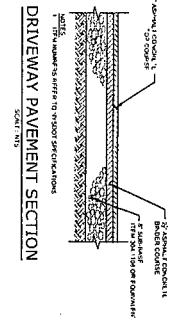


SCALE: N.T.S.



WATER/SEWER SEPARATION REQUIREMENTS

SCALE: N.T.S.



SCALE: N.T.S.

NO.	DATE	DESCRIPTION
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03	03/01/22	REVISIONS
04	03/01/22	REVISIONS
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NO.	DATE	DESCRIPTION
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18	03/01/22	REVISIONS
19	03/01/22	REVISIONS
20	03/01/22	REVISIONS

CONTRACTOR'S CERTIFICATE

I, the undersigned, hereby certify that the above described work was done in accordance with the plans and specifications on file in the Office of the Village Engineer, and that the same conform to the requirements of the Village Code and the State and Federal laws and regulations.

DATE: 03/01/22

SIGNATURE: [Signature]

ENGINEERING PROPERTIES

CONSTRUCTION DETAILS

ELITE STRATEGISTS/HAMILTON

10 CLINTON AVE. EXT.

ORANGE COUNTY, NEW YORK

PHONE: 516-224-1111

WWW.ELITE-STRATEGISTS.COM

PROJECT: 22SS-01

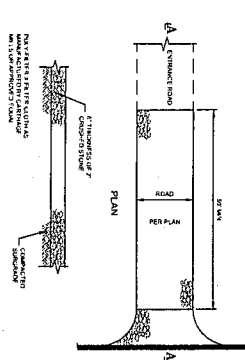
DATE: 03/01/22

SCALE: AS NOTED

PROJECT NO: C-301

DATE: 03/01/22

SCALE: AS NOTED



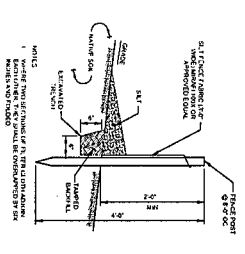
SECTION A-A

NOTES:

1. STABILIZED CONSTRUCTION ENTRANCE SHALL BE 12' WIDE BY 12' DEEP.
2. THE ENTRANCE SHALL BE CONCRETE ON REINFORCED CONCRETE (COMPAK) FILL.
3. THE ENTRANCE SHALL BE 12' WIDE BY 12' DEEP.
4. THE ENTRANCE SHALL BE 12' WIDE BY 12' DEEP.
5. THE ENTRANCE SHALL BE 12' WIDE BY 12' DEEP.
6. THE ENTRANCE SHALL BE 12' WIDE BY 12' DEEP.
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8. THE ENTRANCE SHALL BE 12' WIDE BY 12' DEEP.
9. THE ENTRANCE SHALL BE 12' WIDE BY 12' DEEP.
10. THE ENTRANCE SHALL BE 12' WIDE BY 12' DEEP.

STABILIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.



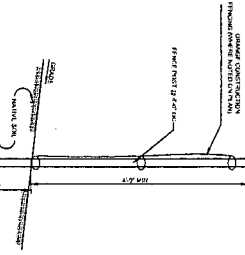
SILT FENCE

NOTES:

1. SILT FENCE SHALL BE 12' WIDE BY 12' DEEP.
2. THE SILT FENCE SHALL BE 12' WIDE BY 12' DEEP.
3. THE SILT FENCE SHALL BE 12' WIDE BY 12' DEEP.
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10. THE SILT FENCE SHALL BE 12' WIDE BY 12' DEEP.

STABILIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.



ORANGE CONSTRUCTION FENCE

NOTES:

1. ORANGE CONSTRUCTION FENCE SHALL BE 12' WIDE BY 12' DEEP.
2. THE ORANGE CONSTRUCTION FENCE SHALL BE 12' WIDE BY 12' DEEP.
3. THE ORANGE CONSTRUCTION FENCE SHALL BE 12' WIDE BY 12' DEEP.
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10. THE ORANGE CONSTRUCTION FENCE SHALL BE 12' WIDE BY 12' DEEP.

STABILIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.



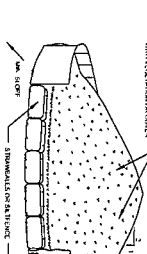
CONCRETE WASHOUT

NOTES:

1. CONCRETE WASHOUT SHALL BE 12' WIDE BY 12' DEEP.
2. THE CONCRETE WASHOUT SHALL BE 12' WIDE BY 12' DEEP.
3. THE CONCRETE WASHOUT SHALL BE 12' WIDE BY 12' DEEP.
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9. THE CONCRETE WASHOUT SHALL BE 12' WIDE BY 12' DEEP.
10. THE CONCRETE WASHOUT SHALL BE 12' WIDE BY 12' DEEP.

STABILIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.



SOIL STOCKPILING

NOTES:

1. SOIL STOCKPILING SHALL BE 12' WIDE BY 12' DEEP.
2. THE SOIL STOCKPILING SHALL BE 12' WIDE BY 12' DEEP.
3. THE SOIL STOCKPILING SHALL BE 12' WIDE BY 12' DEEP.
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10. THE SOIL STOCKPILING SHALL BE 12' WIDE BY 12' DEEP.

STABILIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.

NO.	DATE	DESCRIPTION
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2	02/01/2024	REVISED PER COMMENTS
3	02/15/2024	REVISED PER COMMENTS
4	03/01/2024	REVISED PER COMMENTS
5	03/15/2024	REVISED PER COMMENTS
6	04/01/2024	REVISED PER COMMENTS
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8	05/01/2024	REVISED PER COMMENTS
9	05/15/2024	REVISED PER COMMENTS
10	06/01/2024	REVISED PER COMMENTS

NO.	DATE	DESCRIPTION
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9	05/15/2024	REVISED PER COMMENTS
10	06/01/2024	REVISED PER COMMENTS

NO.	DATE	DESCRIPTION
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8	05/01/2024	REVISED PER COMMENTS
9	05/15/2024	REVISED PER COMMENTS
10	06/01/2024	REVISED PER COMMENTS

NO.	DATE	DESCRIPTION
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2	02/01/2024	REVISED PER COMMENTS
3	02/15/2024	REVISED PER COMMENTS
4	03/01/2024	REVISED PER COMMENTS
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NO.	DATE	DESCRIPTION
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7	04/15/2024	REVISED PER COMMENTS
8	05/01/2024	REVISED PER COMMENTS
9	05/15/2024	REVISED PER COMMENTS
10	06/01/2024	REVISED PER COMMENTS

NO.	DATE	DESCRIPTION
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6	04/01/2024	REVISED PER COMMENTS
7	04/15/2024	REVISED PER COMMENTS
8	05/01/2024	REVISED PER COMMENTS
9	05/15/2024	REVISED PER COMMENTS
10	06/01/2024	REVISED PER COMMENTS

CONSTRUCTION DETAILS

ELITE STRATEGIS/HAMILTON

10 CLINTON AVE. EXT.

ORANGE COUNTY, NEW YORK

DATE: 02/01/2024

SCALE: AS NOTED

PROJECT: C-302

ENGINEERING PROPERTIES

CONSTRUCTION DETAILS

ELITE STRATEGIS/HAMILTON

10 CLINTON AVE. EXT.

ORANGE COUNTY, NEW YORK

DATE: 02/01/2024

SCALE: AS NOTED

PROJECT: C-302

New York Consolidated Laws, Highway Law - HAY § 205 | FindLaw

Current as of January 01, 2021 | Updated by FindLaw Staff

- * 1. Every highway that shall not have been opened and worked within six years from the time it shall have been dedicated to the use of the public, or laid out, shall cease to be a highway; but the period during which any action or proceeding shall have been, or shall be pending in regard to any such highway, shall form no part of such six years; and every highway that shall not have been traveled or used as a highway for six years, shall cease to be a highway, and every public right of way that shall not have been used for said period shall be deemed abandoned as a right-of-way. The town superintendent with the written consent of a majority of the town board shall file, and cause to be recorded in the town clerk's office of the town a written description, signed by him, and by said town board of each highway and public right-of-way so abandoned, and the same shall thereupon be discontinued.
2. There may also be a qualified abandonment of a highway under the following conditions and for the following purposes, to wit: Where it appears to the town superintendent and said town board, at any time, that a highway has not become wholly disused as aforesaid, but that it has not for two years next previous thereto, been usually traveled along the greater part thereof, by more than two vehicles daily, in addition to pedestrians and persons on horseback, and it shall also appear to the superintendent of highways of the county in which such town is situate that a qualified abandonment of such highway is proper and will not cause injustice or hardship to the owner or occupant of any lands adjoining such highway after such superintendent shall have held a public hearing thereon upon giving at least twenty days' written notice to such owners and occupants of such lands of the time and place of such hearing, they shall file and cause to be recorded in the town clerk's office a certificate containing a description of that portion of the highway partly disused as aforesaid and declaring a qualified abandonment thereof. The effect of such qualified abandonment, with respect to the portion of said highway described in the certificate, shall be as follows: It shall no longer be worked at the public expense; it shall not cease to be a highway for purposes of the public easement, by reason of such suspension of work thereon; no persons shall impair its use as a highway nor obstruct it, except as hereinafter provided, but no persons shall be required to keep any part of it in repair; wherever an owner or lessee of adjoining lands has the right to possession of other lands wholly or partly on the directly opposite side of the highway therefrom, he may construct and maintain across said highway a fence at each end of the area of highway which adjoins both of said opposite pieces of land, provided that each said cross fence must have a gate in the middle thereof at least ten feet in length, which gate must at all times be kept unlocked and supplied with a sufficient hasp or latch for keeping the same closed; all persons owning or using opposite lands, connected by such gates and fences, may use the portion of highway thus enclosed for pasturage; any traveler or other person who intentionally, or by wilful neglect, leaves such gate unlatched, shall be guilty of a misdemeanor, and the fact of leaving it unlatched shall be prima facie evidence of such intent or wilful neglect. Excepting as herein abrogated, all other general laws relating to highways shall apply to such partially abandoned highway. This section shall not apply to highways less than two rods in width unless it shall appear to the town superintendent at any time that such a highway has not, during the months of June to September inclusive of the two years next previous thereto, been usually traveled along the greater part thereof by more than ten pedestrians daily.

Any action or proceeding involving the abandonment or qualified abandonment of a highway made pursuant to this section must, in the case of abandonment, be commenced within one year from the date of filing by the town superintendent as provided in subdivision one of this section.